



**CITY OF LA MARQUE
PLANNING & ZONING COMMISSION
REGULAR AGENDA
of
May 28, 2024**

Notice is hereby given that the Planning & Zoning Commission of the City of La Marque, Texas will conduct a **Regular Meeting** on **MAY 28, 2024**, beginning at **4:00 PM** in the **Council Chambers at 1109-B Bayou Road La Marque, Texas as well as via video conference hosted through Zoom (bczoom.cityoflamarque.org)**. In accordance with Section 551.127(b) of the Texas Local Government Code the presiding officer and a quorum of the La Marque City Council intend to be and will be physically present at 1109-B Bayou Road, La Marque, Texas. This location will be open to the public.

The Commission will meet for the purpose of considering the following agenda:

1. CALL MEETING TO ORDER
2. ROLL CALL
3. INVOCATION AND PLEDGE OF ALLEGIANCE
4. PUBLIC HEARING
 - 4.1. Bayou Ridge Preliminary Plat
5. CITIZENS PARTICIPATION
LIMITED TO THREE MINUTES PER PERSON

Comments from the public will be heard at this time. Any person with city-related business who has signed up may speak to Council (limited to three (3) minutes). If wishing to speak give the Mayor or presiding officer your full legal name and the item you wish to speak about. In compliance with Texas Open Meeting Act, the City may not deliberate on comments. Personal attacks will not be allowed, and personnel matters should be addressed to the City Manager during normal business hours. *Press *6 to mute or unmute if you are participating by telephone, press the unmute button if attending via zoom on a smartphone, tablet or computer, or stand if attending in person, and the mayor will call on you in turn.*

6. NEW BUSINESS
Items presented to the Council for discussion and possible action:

6.I. Discussion / possible action regarding the approval of Bayou Ridge Preliminary Plat of a proposed 46.33 acres out of the S.F. Austin League Survey No. 4, Abstract, Galveston County, Texas, being 128 Lots, 4 Blocks and +/- 20.14 acres of Reserves.

6.II. Discussion / possible action regarding the approval of a Planning & Zoning Commission Letter to City Council

7. REQUESTS AND ANNOUNCEMENTS

Requests by Mayor and Council Members of items to be placed on future City Council agendas and announcements on city events/community interests TEX. GOV'T CODE §551.415. (b), "items of community interest" include: (1) expressions of thanks, congratulations, or condolence; (2) information regarding holiday schedules; (3) an honorary or salutary recognition of a public official, public employee, or other citizen, except that a discussion regarding a change in the status of a person's public office or public employment is not an honorary or salutary recognition for purposes of this subdivision; (4) a reminder about an upcoming event organized or sponsored by the governing body (5) information regarding a social, ceremonial, or community event organized or sponsored by an entity other than the governing body that was attended or is scheduled to be attended by a member of the governing body or an official or employee of the municipality or county; and (6) announcements involving an imminent threat to the public health and safety of people in the municipality or county that has arisen after the posting of the agenda

8. ADJOURNMENT

CERTIFICATION:

I hereby certify that the above notice of meeting was posted at 1109-B Bayou Road, La Marque, Texas on MAY 24, 2024, at 10:00 AM.

Kasey Lott
Deputy City Clerk



CITY OF LA MARQUE
"Gateway to the Gulf"
1130 1st St., La Marque, TX 77568
409-938-9204 Permits@CityOfLaMarque.Org

Plat Application

Proposed Plat Name: Bayou Ridge

Galveston County Property Tax ID #(s):

Legal Description: 46.333 Acres In The S.F. Austin League, Survey No. 4, A-2, Galveston County, Texas.

Type of Plat: (check one) Preliminary Plat ☒ Re-Plat ☐ Final Plat ☐ Amending Plat ☐

Surveyor: A. Munroe Kelsay, RPLS **Email:** mturzillo@ehra.team **Phone:** 713-429-0806

Plat Description (example: lot consolidation, dividing into two parcels, etc.):
Bayou Ridge is a subdivision of 46.333 acres out of the S.F. Austin League Survey No. 4, A-2, City of La Marque, Galveston County, Texas.
The subdivision will consist of 128 single family residential lots, 4 blocks, and 11 reserves.

Applicant/ Company Name: Michael Turzillo / EHRA Engineering

Contact Name: Michael Turzillo

Contact Email: mturzillo@ehra.team **Contact Phone:** 713-429-0806

Contact Mailing Address: 10011 Meadowglen Lane

Owner Name: G 46 LLC

Email: kareem@gamalenterprises.com **Phone:** 713-392-2953

Mailing Address: 2909 Rogerdale Rd #421249 Houston, Texas 77242

Application Checklist

- ☒ **Plat** in the form required for filing (2 mylars, 2 paper copies) electronic submittal of plat allowed for processing
- ☐ **Site Plan** (to scale) with **Existing Improvements, Developments and Property Lines** (If this information is not on the plat)
- ☐ **Current Tax Certificates** (Original required for filing with County Clerk)
- ☐ **City Planning Letter / Title Report** (must be within 30 days of plat application)
- ☐ **Agency Letter** (If the owner is not the applicant, the owner must sign below or provide a letter giving the applicant written authorization to submit this plat application on the owner's behalf - (not required for preliminary plats)
- ☐ **Lien-holder Subordination Agreement** (If there is a lien on any part of the property, this shall be required)
- ☒ **Application Fee**

Fee Schedule:

Preliminary Plat: \$750.00 + \$20.00 Per lot, \$100.00 per reserve acre

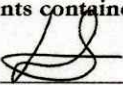
Re-plat: \$750.00 + \$20.00 per lot, \$110.00 per reserve acre

Final Plat: \$750.00 + \$20.00 per lot, \$110.00 per reserve acre

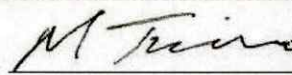
*Please see schedule of fees adopted as of - 9/8/2022

Applicant Certificate

I affirm the statements contained in this application are true and correct to the best of my knowledge.

Signature of owner: 

Date: 4/23/2024

Signature of applicant: 

Date: 4/24/2024

Email Submission: Permits@CityOfLaMarque.org



Development Services Department
1130 1st St.
La Marque, TX 77568

Receipt Number: 202401033

(409)938-9219
permits@cityoflamarque.org

Payer/Payee: EHRA ENGINEERING
10011 MEADOWGLEN LN
HOUSTON TX 77042

Cashier: Marisela Moya

Date: 04/25/2024

PZ2024-003 RE- 3227 MAIN LA MARQUE, TX 77568
ZONING/PLATS/VARIANCES/ABANDON
MENTS

<u>Fee Description</u>	<u>Fee Amount</u>	<u>Amount Paid</u>	<u>Fee Balance</u>
PRELIMINARY PLATS	\$5,324.00	\$5,324.00	\$0.00
fee for filing plat at GCC	\$150.00	\$150.00	\$0.00
	\$5,474.00	\$5,474.00	\$0.00

<u>Payment Method</u>	<u>Reference Number</u>	<u>Payment Amount</u>
CHECK	CK 003023	\$5,474.00
Total Paid:		\$5,474.00

Tuesday, May 14, 2024

Michael Turzillo
EHRA Engineering
10011 Meadowglen Ln
Houston, TX
mturzillo@ehra.team

Re: Bayou Ridge Preliminary Plat
46.33 acres in the S.F. Austin League Survey No. 4, Abstract 2, Galveston County, TX
128 Lots, 4 Blocks and 20.14 acres of Reserves
Letter of Recommendation to Approve
COLM Project No. PZ2024-003
Adico, LLC Project No. 18100-2-125

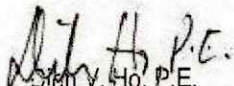
Dear Mr. Turzillo:

On behalf of the City of La Marque, Adico, LLC has reviewed the second submittal of Bayou Ridge Preliminary Plat, a proposed 46.33- acres out of the S.F. Austin League Survey No. 4, Abstract 2, Galveston County, Texas, being 128 Lots, 4 Blocks and +/- 20.14 acres of Reserves, received on or about May 10, 2024.

Based on our review, we have no objections to the preliminary plat as resubmitted on May 10, 2024. Please provide Kathleen Van Stavern, Director of Development Services, with ten (10) folded prints of the plat, by no later than May 20, 2024, for consideration at the May 28, 2024, Planning and Zoning Meeting.

Should you have any questions, please do not hesitate to call our office.

Sincerely,
Adico, LLC


John V. Ho, P.E.
TBPE Firm No. 16423

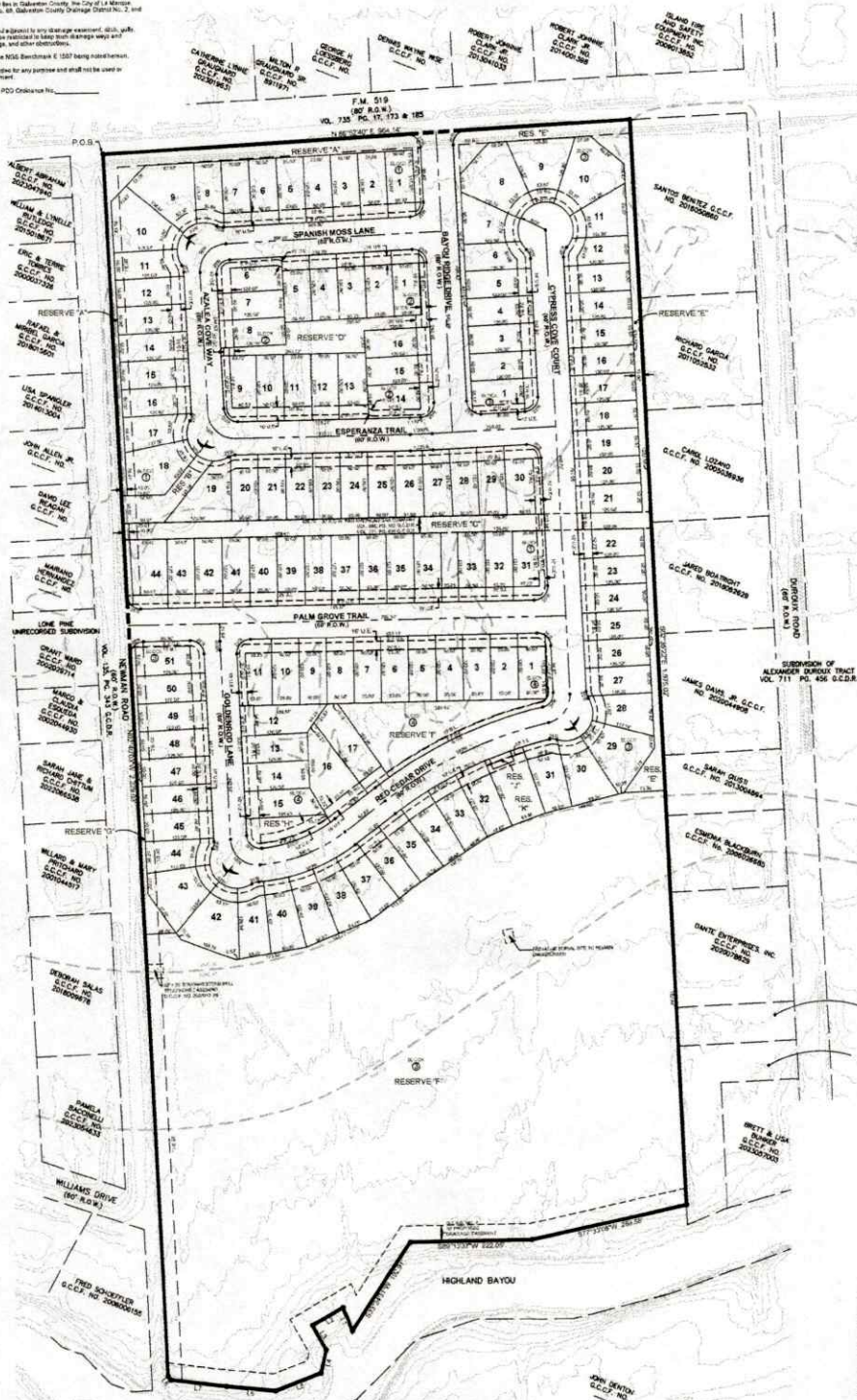
Cc: Permits
File: 18100-2-125

GENERAL NOTES

- [illegible]

LINE	ANGLE	DISTANCE
L1	16 31' 48.52" W	48.74
L2	5 50' 18.43" W	64.80
L3	5 29' 20.91" E	51.10
L4	5 17' 54.37" E	42.72
L5	5 09' 13.04" W	68.10
L6	14 54' 31.46" W	88.63
L7	14 49' 07.04" W	103.54
L8	14 36' 44.24" W	7.72

RESERVE TABLE			
RESERVE	RESERVE PURPOSE	SQ. FT.	ACREAGE
A	LANDSCAPE OPEN SPACE & UTILITY PURPOSES	20,386.72	0.57
B	WPT STATION	7,030.49	0.17
C	LANDSCAPE OPEN SPACE & UTILITY PURPOSES	28,140.97	0.66
D	RECREATION, LANDSCAPE OPEN SPACE & UTILITY PURPOSES	14,911.43	0.34
E	LANDSCAPE OPEN SPACE & UTILITY PURPOSES	38,915.51	0.89
F	STANDARD, RECREATION, LANDSCAPE OPEN SPACE & UTILITY PURPOSES	111,344.27	16.13
G	LANDSCAPE OPEN SPACE & UTILITY PURPOSES	4,824.56	0.11
H	LANDSCAPE OPEN SPACE & UTILITY PURPOSES	4,637.89	0.11
I	RECREATION, LANDSCAPE OPEN SPACE & UTILITY PURPOSES	38,700.94	0.89
J	WATERING	614.05	0.02
K	RECREATION, LANDSCAPE OPEN SPACE & UTILITY PURPOSES	7,963.12	0.18
	TOTAL	474,936.36	20.98

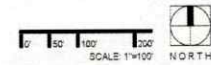


DEVELOPER INFORMATION
CENTURY COMMUNITIES
333 CYPRESS RUN #200
HOUSTON, TX 77094

OWNER INFORMATION
G 46 LLC
3227 MAIN LANE
LA MARQUE, TX 77568

BENCHMARK(S)

NOTE: MONUMENT # 8 IS 1507 IN HITCHCOCK RD. (0.4 MI.) EAST ALONG
STATE HIGHWAY # 6 FROM THE POST OFFICE. THENCE 9.3 KM (5.8 MI.) SOUTH-
ALONG BUILDING LINE TO MARTIN L. KING STREET AND THE MARK ON THE
19.07M. 14.8 METERS (48.8 FT.) WEST OF THE CENTER OF BUILDING LINE,
12.7 METERS (41.9 FT.) NORTH OF THE NORTH CORNER OF THE TRACT 15.2
METERS (49.9 FT.) WESTWARD OF THE NORTHWEST CORNER OF A
CROSSING SIGNAL LIGHT. 8.4 METERS (27.6 FT.) SOUTH OF THE CENTER OF
MARTIN L. KING STREET. NOTE: ACCESS TO DATUM POINT # 8 HAS
THROUGH A 5-MINOR LOGO. THE MARK IS 0.330 METERS E FROM A
WITNESS POST LOCATED 10 CM ABOVE LEVEL WITH MARTIN L. KING STREET.



Bayou Ridge Preliminary Plat
A Subdivision of 46.33 acres out of the S.F. Austin League Survey No. 4, A-2,
City of La Marque, Galveston County, Texas.

128 Lots, 4 Blocks, and 11 Reserves
Owner: G 46 LLC

May, 2024



10011 MEADOWGLEN LANE
HOUSTON, TEXAS 77042
713.784.4500
WWW.EHRTEAM
TBPE No. F-726
TBPLS No. 10092300

Legal Notice
CITY OF LA MARQUE
PLANNING AND ZONING COMMISSION
PUBLIC HEARING NOTICE

Notice is hereby given that the City of La Marque Planning and Zoning Commission will hold a PUBLIC HEARING on May 28, 2024 beginning 4:00pm in the City Council Chambers, located at 1109-B Bayou Road, La Marque, Texas for the purpose of discussion and possible action on: **Approval of Bayou Ridge Preliminary Plat of a proposed 46.33 acres out of the S.F. Austin League Survey No. 4, Abstract w, Galveston County, Texas, being 128 Lots, 4 Blocks and +/- 20.14 acres of Reserves.**

For further information Email: k.vanstavern@city-oflamarque.org

Published: May 16, 2024



***CITY OF LA MARQUE
PLANNING & ZONING COMMISSION
MEETING AGENDA***

**TUESDAY, MAY 28, 2024
4:00 PM
COUNCIL CHAMBERS
1109-B BAYOU
LA MARQUE, TX 77568**

<https://ci.la-marque.tx.us/AgendaCenter>

**TO PARTICIPATE VIA ZOOM:
<http://bczoom.cityoflamarque.org>**

Creg Cornett	Chair
Alan Waters	Vice Chair
Bradley Stephenson	Commissioner
Chris Colombo	Commissioner
Graylan Alexander	Commissioner



**CITY OF LA MARQUE
PLANNING AND ZONING COMMISSION
Regular Meeting
AGENDA
Of
MAY 28, 2024**

Notice is hereby given that the City of La Marque Planning and Zoning Commission will conduct a Regular Meeting in the Council Chambers at 1109-B Bayou Road, La Marque, Texas as well as via teleconference hosted through (ZOOM) <http://bczoom.cityoflamarque.org/> on Tuesday, May 28, 2024, beginning at 4:00 p.m., for the purpose of considering and taking action on the following agenda:

(1) CALL MEETING TO ORDER

(2) ROLL CALL

(3) INVOCATION AND PLEDGE OF ALLEGIANCE

Texas Pledge: "Honor the Texas flag; I pledge allegiance to thee, Texas, one state under God, one and indivisible."

(4) CITIZEN'S PARTICIPATION

At this time, any person who wishes to speak on Commission-related business, including any item on the agenda, should speak at this time by giving the Chairman your name and the item you wish to speak about. Comments are limited to three (3) minutes. In compliance with Texas Open Meetings Act, the Planning and Zoning Commission may not deliberate on comments. Personal attacks will not be allowed, and personnel matters should be addressed to the City Manager during normal business hours. **Press *6 to mute or unmute if you are participating by telephone, press the unmute button if attending via zoom on a smartphone, tablet, or computer, or stand if attending in person, and the Chairperson will call on you in turn.**

(5) APPROVAL OF MINUTES:

- a. Discussion / possible action to approve Meeting Minutes.
No meeting in March & April 2024

(6) PUBLIC HEARINGS:

- a. Public Hearing regarding the Bayou Ridge Preliminary Plat of a proposed 46.33 acres out of the S.F. Austin League Survey No. 4, Abstract 2, Galveston County, Texas, being 128 Lots, 4 Blocks and +/- 20.14 acres of Reserves.

(7) OLD BUSINESS

- a. None

(8) NEW BUSINESS

- a. Discussion / possible action regarding the Approval of Bayou Ridge Preliminary Plat of a proposed 46.33 acres out of the S.F. Austin League Survey No. 4, Abstract w, Galveston County, Texas, being 128 Lots, 4 Blocks and +/- 20.14 acres of Reserves.
- b. Discussion / possible action regarding approval of a letter requesting the removal of Planning & Zoning Members that are inactive.

(9) DIRECTORS REPORT

- a. Commissioner Name Tags
- b. Development Guide Preview

(10) REQUESTS AND ANNOUNCEMENTS

- a. Requests by Commissioners for items to be placed on future Planning and Zoning agendas and announcements.

(11) ADJOURNMENT

CERTIFICATION:

I hereby certify that the above notice of meeting was posted at 1109-B Bayou Road, La Marque, Texas, on or before **May 17, 2024**, before 5:00 p.m.

Kathleen Van Stavern
Development Services Director

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Clerk's office at (409) 938-9259, or Fax (409) 935-0401, or e-mail cityclerk@cityoflamarque.org for further information.



CITY OF LA MARQUE
"Gateway to the Gulf"
1130 1st St., La Marque, TX 77568
409-938-9204 Permits@CityOfLaMarque.Org

Plat Application

Proposed Plat Name: Bayou Ridge

Galveston County Property Tax ID #(s):

Legal Description: 46.333 Acres In The S.F. Austin League, Survey No. 4, A-2, Galveston County, Texas.

Type of Plat: (check one) Preliminary Plat ☒ Re-Plat ☐ Final Plat ☐ Amending Plat ☐

Surveyor: A. Munroe Kelsay, RPLS Email mturzillo@ehra.team Phone: 713-429-0806

Plat Description (example: lot consolidation, dividing into two parcels, etc.):

Bayou Ridge is a subdivision of 46.333 acres out of the S.F. Austin League Survey No. 4, A-2, City of La Marque, Galveston County, Texas.

The subdivision will consist of 128 single family residential lots, 4 blocks, and 11 reserves.

Applicant/ Company Name: Michael Turzillo / EHRA Engineering

Contact Name: Michael Turzillo

Contact Email: mturzillo@ehra.team

Contact Phone: 713-429-0806

Contact Mailing Address: 10011 Meadowglen Lane

Owner Name: G 46 LLC

Email: kareem@gamalenterprises.com

Phone: 713-392-2953

Mailing Address: 2909 Rogerdale Rd #421249 Houston, Texas 77242

Application Checklist

- ☒ Plat in the form required for filing (2 mylars, 2 paper copies) electronic submittal of plat allowed for processing
- ☐ Site Plan (to scale) with Existing Improvements, Developments and Property Lines (If this information is not on the plat)
- ☐ Current Tax Certificates (Original required for filing with County Clerk)
- ☐ City Planning Letter / Title Report (must be within 30 days of plat application)
- ☐ Agency Letter (If the owner is not the applicant, the owner must sign below or provide a letter giving the applicant written authorization to submit this plat application on the owner's behalf - (not required for preliminary plats)
- ☐ Lien-holder Subordination Agreement (If there is a lien on any part of the property, this shall be required)
- ☒ Application Fee

Fee Schedule:

Preliminary Plat: \$750.00 + \$20.00 Per lot, \$100.00 per reserve acre

Re-plat: \$750.00 + \$20.00 per lot, \$110.00 per reserve acre

Final Plat: \$750.00 + \$20.00 per lot, \$110.00 per reserve acre

*Please see schedule of fees adopted as of - 9/8/2022

Applicant Certificate

I affirm the statements contained in this application are true and correct to the best of my knowledge.

Signature of owner: [Signature]

Date: 4/23/2024

Signature of applicant: [Signature]

Date: 4/24/2024

Email Submission: Permits@CityOfLaMarque.org



Development Services Department
1130 1st St.
La Marque, TX 77568

Receipt Number: 202401033

(409)938-9219
permits@cityoflamarque.org

Payer/Payee: EHRA ENGINEERING
10011 MEADOWGLEN LN
HOUSTON TX 77042

Cashier: Marisela Moya

Date: 04/25/2024

PZ2024-003 RE- 3227 MAIN LA MARQUE, TX 77568
ZONING/PLATS/VARIANCES/ABANDON
MENTS

<u>Fee Description</u>	<u>Fee Amount</u>	<u>Amount Paid</u>	<u>Fee Balance</u>
PRELIMINARY PLATS	\$5,324.00	\$5,324.00	\$0.00
fee for filing plat at GCC	\$150.00	\$150.00	\$0.00
	\$5,474.00	\$5,474.00	\$0.00

<u>Payment Method</u>	<u>Reference Number</u>	<u>Payment Amount</u>
CHECK	CK 003023	\$5,474.00
Total Paid:		\$5,474.00

Tuesday, May 14, 2024

Michael Turzillo
EHRA Engineering
10011 Meadowglen Ln
Houston, TX
mturzillo@ehra.team

Re: Bayou Ridge Preliminary Plat
46.33 acres in the S.F. Austin League Survey No. 4, Abstract 2, Galveston County, TX
128 Lots, 4 Blocks and 20.14 acres of Reserves
Letter of Recommendation to Approve
COLM Project No. PZ2024-003
Adico, LLC Project No. 18100-2-125

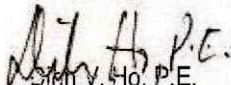
Dear Mr. Turzillo:

On behalf of the City of La Marque, Adico, LLC has reviewed the second submittal of Bayou Ridge Preliminary Plat, a proposed 46.33- acres out of the S.F. Austin League Survey No. 4, Abstract 2, Galveston County, Texas, being 128 Lots, 4 Blocks and +/- 20.14 acres of Reserves, received on or about May 10, 2024.

Based on our review, we have no objections to the preliminary plat as resubmitted on May 10, 2024. Please provide Kathleen Van Stavern, Director of Development Services, with ten (10) folded prints of the plat, by no later than May 20, 2024, for consideration at the May 28, 2024, Planning and Zoning Meeting.

Should you have any questions, please do not hesitate to call our office.

Sincerely,
Adico, LLC


John V. Ho, P.E.
TBPE Firm No. 16423

Cc: Permits
File: 18100-2-125

GENERAL NOTE:

1. Bearing information is based on the Texas State Plane Coordinate System of 1983, based on Central Zone 14 determined by GPS measurements.

2. The Coordinates shown herein are Texas South Central Zone 14, 4304 state plane grid coordinates (SAD 83) and may be brought to project by applying the following scale factor: 0.999999717.

3. According to the Federal Emergency Management Agency Flood Insurance Rate Map: Coastal County, Texas, Community Number: 49857 (Zone 14), dated August 15, 2018, the flood zone is delineated Zone 14 and Zone A.

The flood statement does not imply that the property or structures therein are free from flooding or flood damage. No one can ensure flood-free and/or water and flood heights determined by maximum or actual causes. The location of the flood zone is determined by FEMA maps. FEMA maps are not intended to be determined by the same owner or user. Editor: Hershaw, Rios & Associates, Inc. d/b/a ERMHA, statement is not liable for the accuracy of the location of the flood area or the flood zone. The flood statement is not liable for the accuracy of the location of the flood area or the flood zone.

LINE	ANGLE	DISTANCE
L1	N 31°46'52" W	40.73
L2	S 50°15'42" W	64.80
L3	S 20°20'15" E	61.10
L4	S 12°28'37" W	42.72
L5	S 10°13'02" W	60.20
L6	N 64°31'45" W	66.57
L7	N 68°02'54" W	103.24
L8	N 30°44'24" W	7.82

RESERVE TABLE			
RESERVE	RESTRICTIONS	NO. FL.	ACRES
A	LANDSCAPE OPEN SPACE & UTILITY PURPOSES	20,385.53	8.89
B	UPT ERTION	7,530.60	0.17
C	LANDSCAPE OPEN SPACE & UTILITY PURPOSES	28,148.7	0.08
D	REGISTRATION, LANDSCAPE OPEN SPACE & UTILITY PURPOSES	16,811.24	0.34
E	LANDSCAPE OPEN SPACE & UTILITY PURPOSES	58,919.73	0.91
F	FRANZISE REGISTRATION, LANDSCAPE OPEN SPACE & UTILITY PURPOSES	71,734.67	18.23
G	LANDSCAPE OPEN SPACE & UTILITY PURPOSES	6,894.86	0.16
H	LANDSCAPE OPEN SPACE & UTILITY PURPOSES	1,457.93	0.10
I	REGISTRATION, LANDSCAPE OPEN SPACE & UTILITY PURPOSES	39,760.94	0.89
J	HAPPING	818.07	0.02
K	REGISTRATION, LANDSCAPE OPEN SPACE & UTILITY PURPOSES	7,963.33	0.38
	TOTAL	274,966.36	25.56

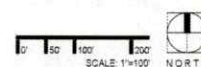
[illegible]

DEVELOPER INFORMATION
CENTURY COMMUNITIES
333 CYPRESS RUN #200
HOUSTON, TX 77094

OWNER INFORMATION
G 46 LLC
3227 MAIN LANE
LA MARQUE, TX 77568

BENCHMARKS

BEETHAM MARKS
NAD83 HIGHWAY 6 E 1507' N HITCHCOCK RD 8.5 KM (5.3 MI) EAST ALONG
STATE HIGHWAY 6 FROM THE POST OFFICE, THENCE 0.3 KM (0.1 MI) SOUTH
ALONG BULLDOG LAKE TO MARTIN L. KING STREET AND THE MARK ON THE
NIGHT, 12.8 METERS (42.0 FT) WEST OF THE CENTER OF BULLDOG LAKE,
12.2 METERS (40.1 FT) NORTH OF THE NORTH OF THE TRACKS, 12.2
METERS (40.1 FT) NORTHWEST OF THE NORTHWEST CORNER OF A
CRISSING SIGNAL, 0.4 METERS (21.2 FT) SOUTH OF THE CENTER OF
MARTIN L. KING STREET, 1.5 METERS (4.9 FT) SOUTH OF THE POINT
THROUGH A 5-INCH LOGS CAP, THE MARK IS 0.30 METERS 0 FROM A
VERTICAL POST THE MARK IS ABOVE LEVEL WITH MARTIN L. KING STREET



Bayou Ridge Preliminary Plat

A Subdivision of 46.33 acres out of the S.F. Austin League Survey No. 4, A-2,
City of La Marque, Galveston County, Texas.

128 Lots, 4 Blocks, and 11 Reserves
Owner: G 46 LLC

May, 2024



10011 MEADOWGLEW LANE
HOUSTON, TEXAS 77042
713.784.4500
WWW.EHRA.TEAM
TYPE No. F-726
TBPLS No. 10092300

Legal Notice
CITY OF LA MARQUE
PLANNING AND ZONING COMMISSION
PUBLIC HEARING NOTICE

Notice is hereby given that the City of La Marque Planning and Zoning Commission will hold a PUBLIC HEARING on May 28, 2024 beginning 4:00pm in the City Council Chambers, located at 1109-B Bayou Road, La Marque, Texas for the purpose of discussion and possible action on: **Approval of Bayou Ridge Preliminary Plat of a proposed 46.33 acres out of the S.F. Austin League Survey No. 4, Abstract w, Galveston County, Texas, being 128 Lots, 4 Blocks and +/- 20.14 acres of Reserves.**

For further information Email: k.vanstavern@city-oflamarque.org

Published: May 16, 2024

LA MARQUE

EST 1953

Planning & Zoning Commission

Chairman Greg Cornett
Commissioner Chris Colombo

Vice Chairman Alan Waters
Commissioner Bradley Stephenson

Tuesday, May 28, 2024

RE: Attendance of Commissioners

Honorable Mayor Bell and Council,

On May 28, 2024, the Planning & Zoning Commission in a Regular Meeting / Public Hearing unanimously approved a letter of recommendation to City Council to remove the following commissioners from this commission, per Section 71-24 "Planning & Zoning Commission":

Augustino Molis
Graylan Alexander
Veverly Sumlin
Stephanie Gordon

The commission reviewed the attendance records for years 2022, 2023 and 2024 and found these records:

2022: A. Molis attended 2 meetings out of 8 meetings held. (No Call, No Show)
G. Alexander attended 1 meeting out of 8 meetings held. (No call, No Show)
V. Sumlin attended 0 meetings out of 8 meetings held. (No call, No Show)
S. Gordon attended 0 meetings out of 8 meetings held (No Call, No Show)

2023: A. Molis attended 0 meetings out of 10 meetings held (No call, No Show)
G. Alexander attended 0 meetings out of 10 meeting held (No call, No Show)
V. Sumlin attended 0 meetings out of 10 meeting held (No call, No Show)
S. Gordon attended 0 meetings out of 10 meeting held (No Call, No Show)

2024: A. Molis attended 0 meetings out of 3 meetings held (No call, No Show)
G. Alexander attended 0 meeting out of 3 meetings held (No Call, No Show)
S. Gordon attended 0 meetings out of 3 meetings held (No Call, No Show)

The Planning & Zoning Commission is an integral part of the City of La Marque and requires a commitment from all appointed members to be present at meetings.



City Ordinance Section 71-24 requires this commission to be composed of five regular members, all of whom shall be residents and real property taxpayers of the City of La Marque. The city council shall appoint two alternate members of the commission for a term of two years who shall serve in the absence of one or more of the regular members when requested to do so by the chairperson of the commission.

Per Section 71-24 Members may be removed by the city council only for inefficiency, neglect of duty, or malfeasance in office. This commission requests the removal of the afore mentioned members for "Neglect of Duty." Being absent from meetings causes a hardship on the commissioners to meet the quorum requirements and the citizens or developers requesting review of rezone requests or platting approval.

Respectively signed by:

Greg Cornett, Chair

Date:

Alan Waters, Vice Chair

Date:

Chris Colombo, Commissioner

Date:

Bradley Stephenson, Commissioner

Date:



LA MARQUE DEVELOPMENT GUIDE 2024

A GUIDE TO DEVELOPMENT SERVICES MOST
COMMON PROCESSES



www.lamarquedevelopmentservices



Introduction

Thank you for your interest in developing in the City of La Marque! This guide provides information that will help you navigate the planning, permitting and zoning processes associated with developing in La Marque. It includes basic submittal requirements, development processes and more.

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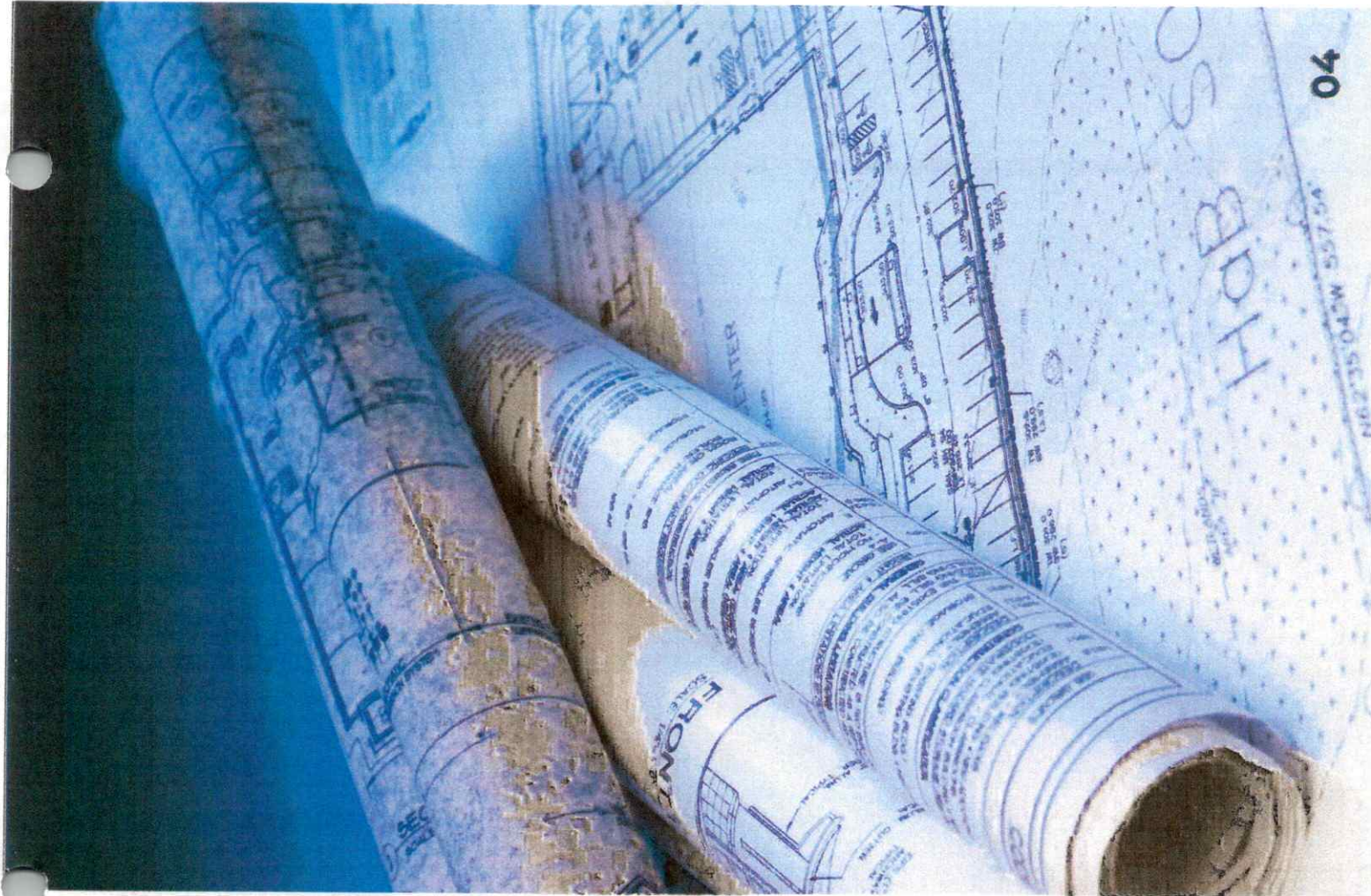


PRE-DEVELOPMENT MEETINGS

Pre-Development Meetings (PDMs) provide an opportunity for an applicant and city staff to review a proposed development as it relates to the standards for development in La Marque, Texas. This includes reviewing applicable submittal requirements, procedures, and schedules, drainage requirements, right of way easements, platting, utility availability, building codes; discussing the scope, features, and potential impacts of the proposed development; and identifying primary contacts for the applicant and City staff.



Applications



Pre-Development Meeting Submittals

➤ When do I need a Pre-Development meeting?

- Meetings are highly encouraged (but not required) before submitting a development plan. PDMs may be requested by completing the PDM request form [Applications-Forms](#) and emailing it to: permits@cityoflamarque.org.
- Meetings must be scheduled at least 7 days in advance to provide adequate time for our team to review submissions by the requestor.
- PDMs are held either virtually or in-person (preferred) in 30-minute or one-hour increments every Wednesday between 1pm and 4pm, and are scheduled on a first-come, first-serve basis.

➤ What if I'm not ready for a PDM, but I need zoning information for my development?

- To see existing zoning information on a property, please visit our [City Website](#) under the Development Services Page for the zoning map or contact Development Services and request a Zoning Verification Letter.

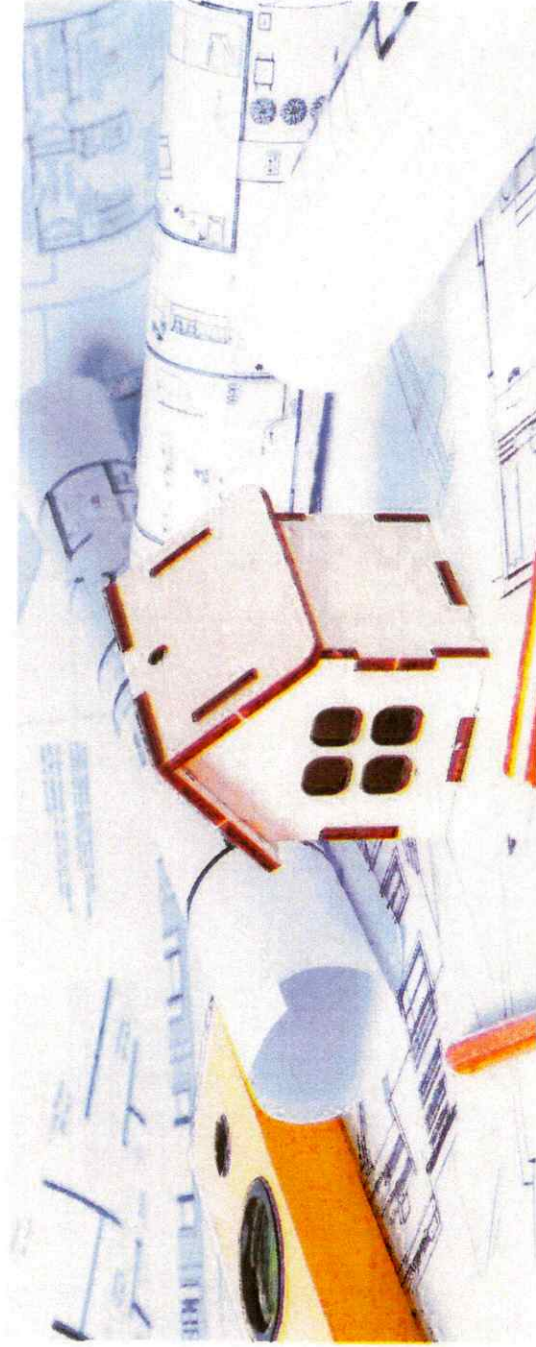
Pre-Development Meeting Submittals

Post PDM meeting:

- If you have any outstanding questions after the PDM, contacts from each department will be provided at the PDM as well as on the [City Website](#).

What should I submit for a PDM for City Staff to review?

- Completed PDM request form
- Drawings or conceptual layout or site plan, including parking, building footprint, setbacks & heights, streets, easements.



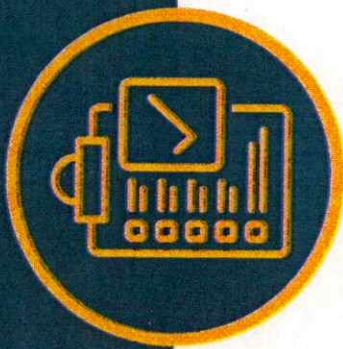
Site Plan

A site plan is a plan drawing of a site that includes the layout of buildings, circulation system, parking, walls, open space and any other appropriate information as required by the City.



When do I need a Site Plan?

Site plans are required prior to any new development, redevelopment, expansion, alteration, or change in use on a property or lot in order to ensure compliance with the City's Zoning and Code of Ordinances.



Submittal Requirements

Fill out an Application online.



Digital Site Plan

- a. Utilities
- b. Landscaping
- c. Setbacks, build lines, existing buildings or improvements
- d. Streets, easements, parking, paving
- e. Drainage map with calculations, storm water, sanitary sewer, flood plain management



Service Name

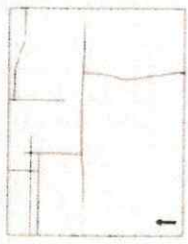
- f. Fire lanes including width, turning radius, hydrants, Fire Suppression system lines (if applicable)
- g. Other requirements listed in the City of La Marque Design Criteria Manual.

Site Plan

(Sample Only)

Design Criteria Manual

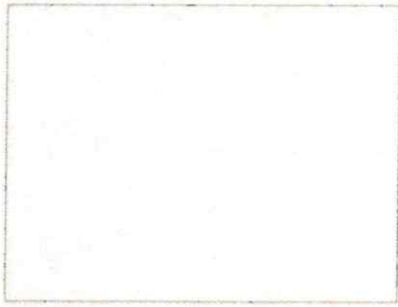
Vicinity Map



North Arrow
& Scale at 1"

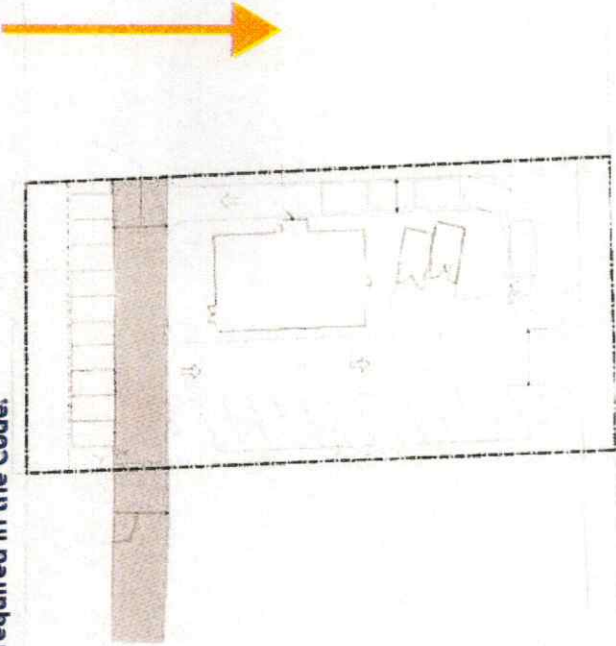


Standard
Notations



Site Graphic Including:

Building footprint, adjacent uses & improvements within 200', parking spaces (dimensioned), existing & proposed easements with filling information, stacking spaces, drive-thru location (if applicable), distance between driveways & intersecting streets, drive approach dimensions & radii, delineation & width of internal drives, dumpster location & dimensioned backing, other items as required in the Code.



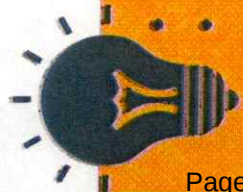
Legend

Site Data Table

Existing zoning, proposed use(s), lot coverage, impervious area, required & provided parking, height, density, and lot area.

Title Block

Name of project, applicant & owner names, addresses, phone numbers, development location (lot, block, and addition)



- Make sure your drawings are clean & not blurry
- Don't use color, use only black & gray
- Use different lines for different features (solid, dashed)
- Include topography or show actual easement lines.

Plats

A plat is a plan that shows a subdivision or creates building lots or tracts. It shows all essential dimensions, lot designations, easements and rights-of-way.

Preliminary Plat

The purpose of a preliminary plat is to provide preliminary information when a development or subdivision is to occur in phases and when it:

1. subdivides land into more than 4 lots for development; or
2. includes lots without frontage on an existing street or
3. requires the creation of a new street; or
4. requires the extension of municipal facilities.

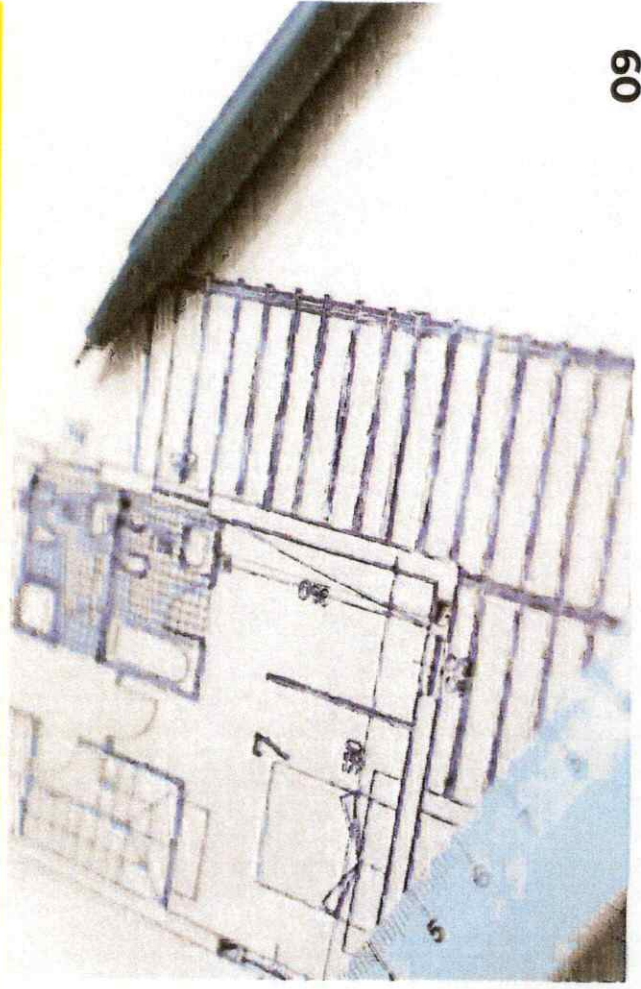
A PP provides preliminary approval of the proposed subdivision or development by the city Planning & Zoning Commission.

A final plat shall subsequently be required and must be approved by P & Z and City Council for filing with the county for record, following any necessary approvals and the construction/acceptance of required infrastructure by the city.

Minor Plat

The purpose of a minor plat is to subdivide land for development when there are 4 or fewer lots and when the dedication of streets or extension of utilities is not required.

Since a MP does not involve any improvements to infrastructure, after its approval the plat may move forward to be filed with the county for record.



Plats

A plat is a plan that shows a subdivision or creates building lots or tracts. It shows all essential dimensions, lot designations, easements and rights-of-way.

Replat

The purpose of a replat is to further subdivide an existing platted property and/or further extend streets or utilities.

If the replat involves residential property, additional property owner notices and public hearings may be required.

If improvements to infrastructure are required, construction and acceptance of said improvements is required prior to filing the replat with the county.

Amending Plat (for corrections)

The purpose of an amending plat is to correct errors and amend property information on an existing plat.

An amending plat does not involve any improvements to infrastructure. After its approval, the plat may be filed with the county for record.

Submittals for all plats:

- Applications
- Plat (digital)
- Current Tax Certificates with seal (original)
- City Planning Letter / Title Report
- Agency Letter (If the owner is not the applicant)
- Lien Holder Subordination Agreement
- Application Fee

Submittals should be emailed to:
permits@cityoflamarque.org

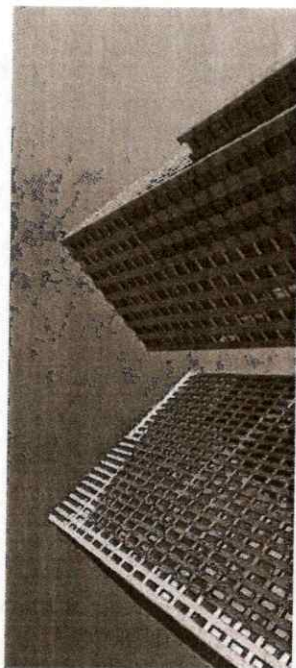


Plats

A plat is a plan that shows a subdivision or creates building lots or tracts. It shows all essential dimensions, lot designations, easements and rights-of-way.

When do I need a preliminary plat?

A Preliminary plat provides preliminary approval of a proposed subdivision or development by the city. It is required when a proposed development or subdivision is to occur in phases on land that has not yet been platted and when the proposed subdivision is creating more than 4 lots; requires the creation of a new street; or requires the extension of municipal facilities. A final plat shall subsequently be required for each phase of the development and will be filed with the county for record, following any necessary approvals and the construction/acceptance of required infrastructure by the city.



When do I need a final plat?

A Final Plat provides approval of a proposed subdivision or development by the city and is filed with the county to create lots of record. A final plat is required when a proposed development or subdivision is located on land that has not yet been platted for development and when the proposed development or subdivision is creating more than 4 lots; requires the creation of a new street; or requires the extension of municipal facilities.

When do I need a minor plat?

A Minor Plat provides approval of a proposed subdivision or development by the city and is filed with the county to create lots of record. A Minor Plat is required when a proposed development or subdivision is located on land that has not yet been platted for development and when the proposed development or subdivision involves 4 or fewer lots and does not require the dedication of streets or extension of utilities.

Plats

A plat is a plan that shows a subdivision or creates building lots or tracts. It shows all essential dimensions, lot designations, easements and rights-of-way.

When do I need a replat?

A replat allows for existing platted property to be further subdivided or platted into a different configuration.



When do I need an amending plat?

An amending plat is used to correct errors and amend property information on an existing plat. It does not involve the creation of new lots or the extension of any rights-of-way or utilities.



Plat review timing:
Initial Submittal 20 to 30 days in most cases,
Secondary Review Submittal 10 to 15 days in most cases.



Zoning | Zoning Map

Zoning was adopted in the City of La Marque in 2005. Zoning is required for each property within the city limits and provides the land uses and regulations for which the property may be developed. The Planning and Zoning Commission and City Council must approve all proposed zoning changes.

Agricultural District AG

Intended to provide for land within the corporate limits of the city which are not subdivided and/or are relatively undeveloped. This district is designed to promote orderly, timely, economic growth and to recognize current conditions.

Single-Family Residential R-1

Predominant single-family housing district in the city. Development in the R-1 district is limited primarily to single-family dwellings and certain community and recreational facilities to serve residents of the district.

Two-Family Residential R-2

Limited primarily to two-family dwellings and certain community and recreational facilities to service residents of the district.
R-3: Multiple-Family Residential: Multiple-

Multiple-Family Residential R-3

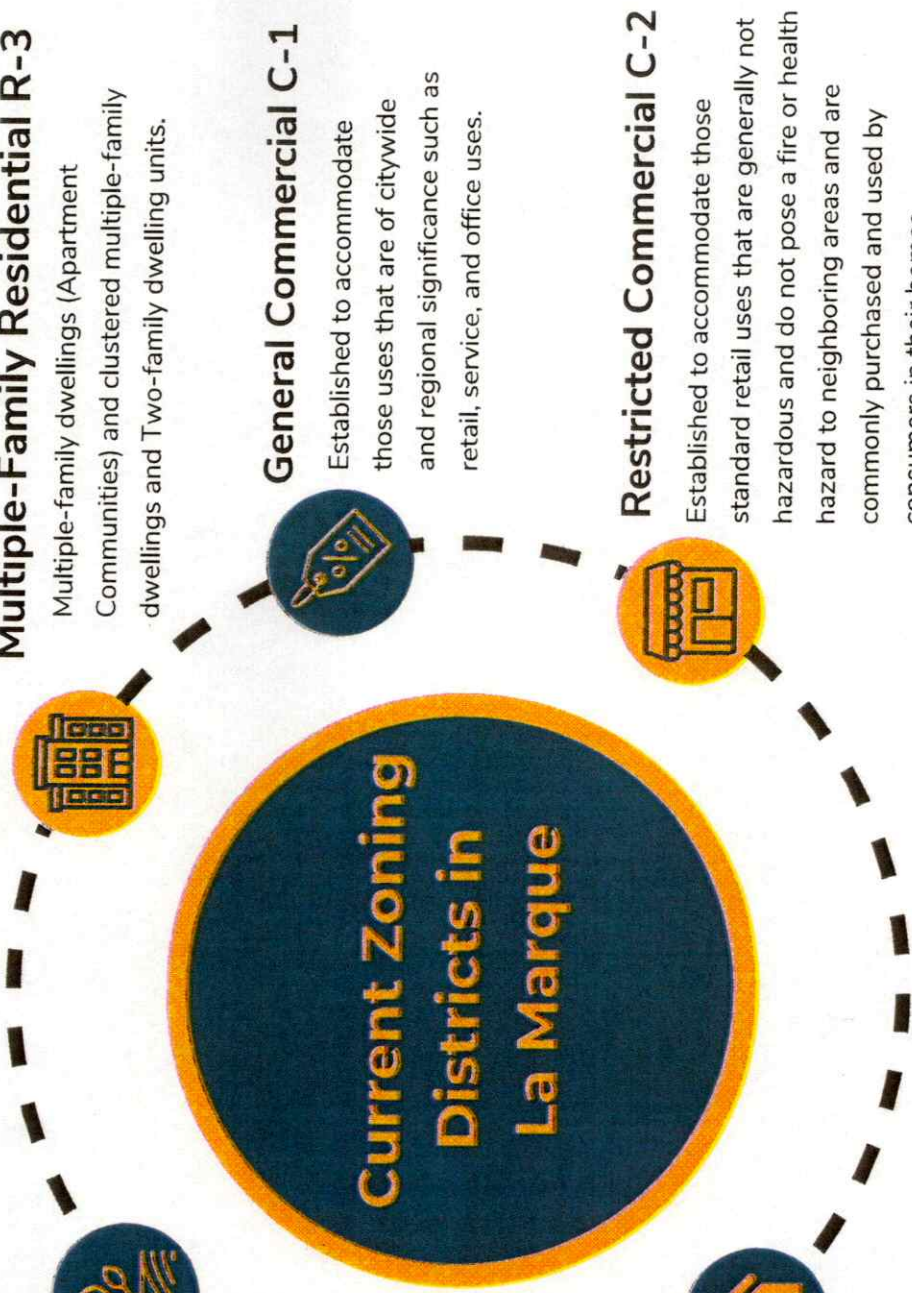
Multiple-family dwellings (Apartment Communities) and clustered multiple-family dwellings and Two-family dwelling units.

General Commercial C-1

Established to accommodate those uses that are of citywide and regional significance such as retail, service, and office uses.

Restricted Commercial C-2

Established to accommodate those standard retail uses that are generally not hazardous and do not pose a fire or health hazard to neighboring areas and are commonly purchased and used by consumers in their homes.



Zoning | Zoning Map

Zoning was adopted in the City of La Marque in 2005. Zoning is required for each property within the city limits and provides the land uses and regulations for which the property may be developed. The Planning and Zoning Commission and City Council must approve all proposed zoning changes.

Corridor Commercial C-3

Accommodates those uses that are considered appropriate for major corridors within the city to promote public and private investment that encourages high quality development.

Interstate Commercial C-4

Established to provide for more intense nonresidential mixed-use development that provides a pedestrian oriented environment.

Light Industrial I-1

Established to provide locations for outlets offering goods and services to a targeted segment of the general public as well as industrial users. The district allows for assembly, packaging, and manufacturing of nonhazardous, nonvolatile products.

Industrial I-2

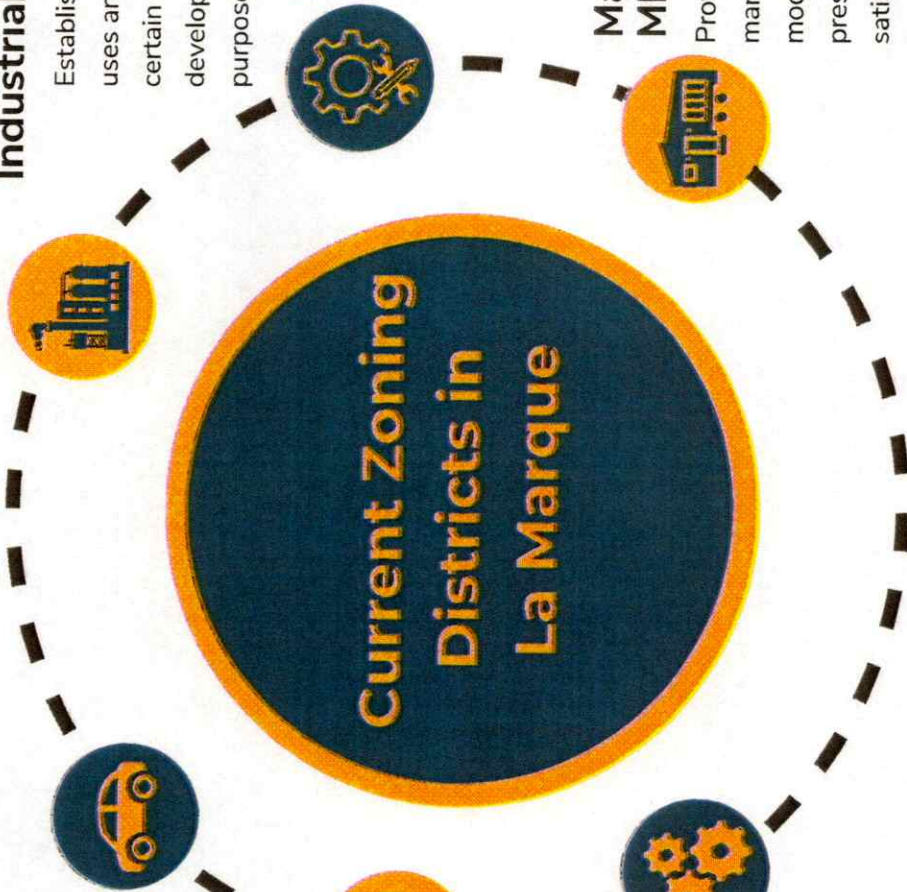
Established to accommodate most industrial uses and protect such areas from the intrusion of certain incompatible uses that might impede the development and use of such lands for industrial purpose.

Planned Development PD

Designed to provide flexibility in development planning and the opportunity for the application of planning concepts.

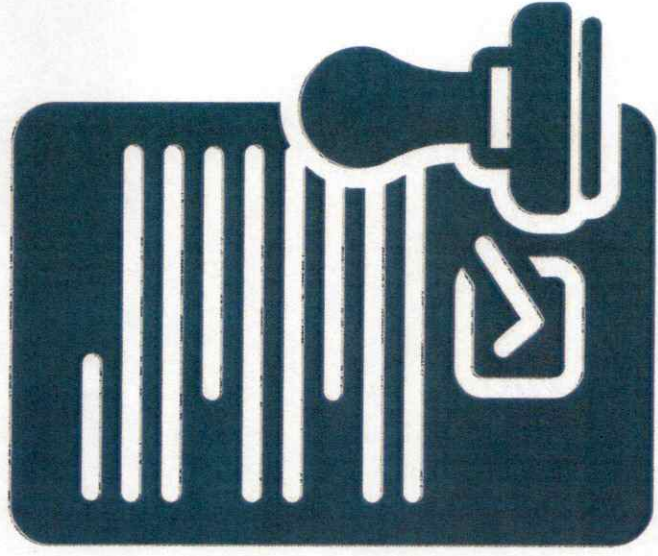
Manufactured Home Park MHP

Provide areas for the location of manufactured homes in an attractive, moderate density setting and ensure the presence of amenities required for satisfactory quality of life in areas designated for manufactured home use.



New Construction Permit Process

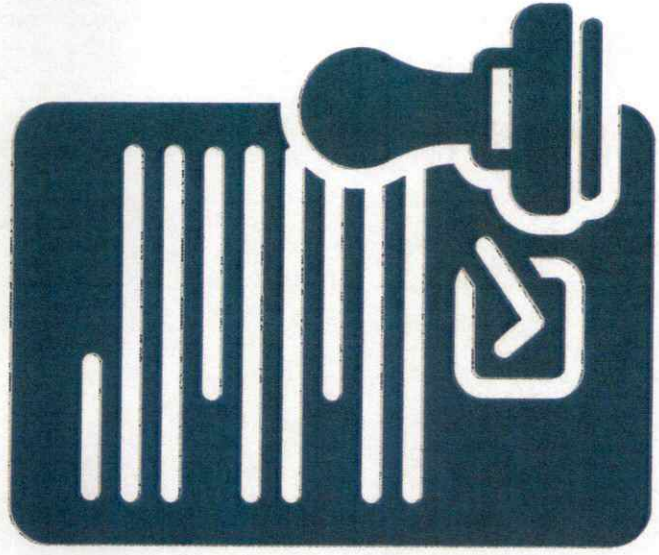
- Partial submittals will not be accepted or reviewed.
- Permit submittals are accepted by email to: permits@cityoflamarque.org
- All submittals must be in a digital format.
- Construction plans must clearly describe the scope of work, refer to drawing sheet file name and plan set.
- Plans shall be prepared by a licensed, registered Architect.
- All structural, mechanical, electrical and plumbing plans must be prepared by a licensed, registered Professional Engineer.
- An energy compliance report prepared and signed by an independent third-party code certified ICC energy inspector and plans examiner.



Permits | Applications & Forms

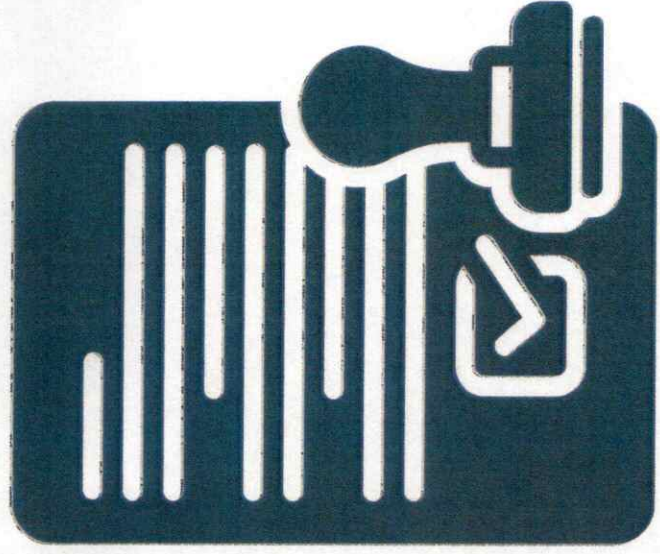
New Construction Permit Process

- Master Development Plan, Traffic Analysis, TXDOT approval, DD2 approval (if applicable).
- Construction, renovation or alteration of a building or facility with an estimated construction cost of \$50,000 or more shall be submitted to the Texas Department of Licensing and Regulation (TDLR). TDLR registration number required.
- Water and sewer capacity form completed.
- Base Flood Elevation Certificate.



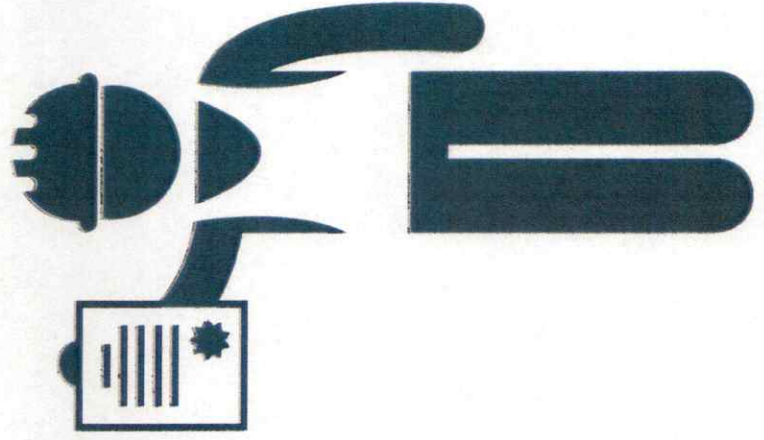
New Construction Permit Process

- Civil plans must include scaled and dimensioned drawings showing property lines, legal description, site location map, driveways and drive approaches, parking lots and striping layout, easements, existing site grading, existing and proposed utilities, drainage areas, and hydraulic calculations, grading and drainage plans, erosion control plans, and stormwater pollution prevention plans, as required by the City of La Marque Design Criteria Manual.
- All contractors and trades must register with the City of La Marque and provide a liability insurance certificate showing the City of La Marque as the certificate holder.
- Renovation or demolition to any public or commercial building requires an asbestos survey conducted by a state licensed asbestos inspector.



Building Codes

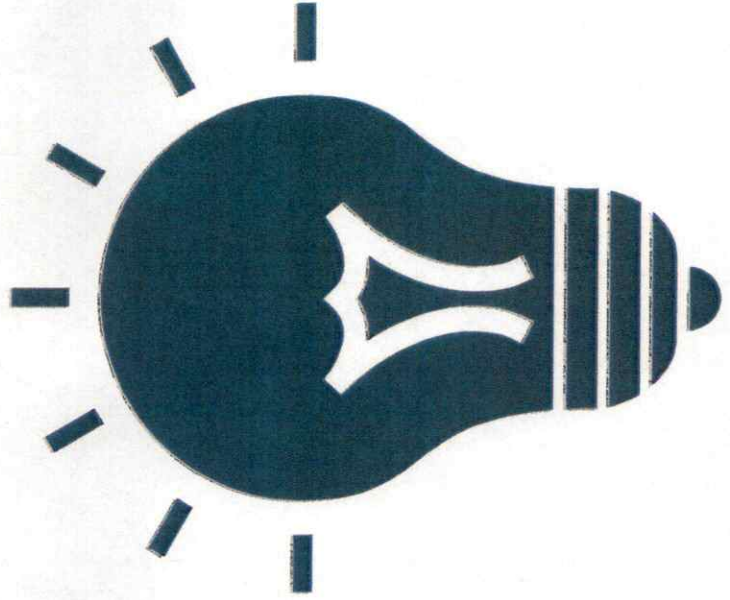
- Adopted Codes (with City Amendments) or Per State Code:
- 2018 INTERNATIONAL BUILDING CODE (IBC)
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2018 INTERNATIONAL PLUMBING CODE (IPC)
- 2018 INTERNATIONAL MECHANICAL CODE (IMC)
- 2018 INTERNATIONAL FUEL GAS CODE (IFGC)
- 2018 INTERNATIONAL FIRE CODE (IFC)
- 2017 NATIONAL ELECTRICAL CODE (NEC) 2020 NEC EFFECTIVE NOVEMBER 1, 2020 PER STATE
- Amendments to all codes and the Zoning Ordinance are available by following this link: [Code of Ordinances | La Marque, TX | Municode Library](#)



Permits | Applications & Forms

Helpful Tips

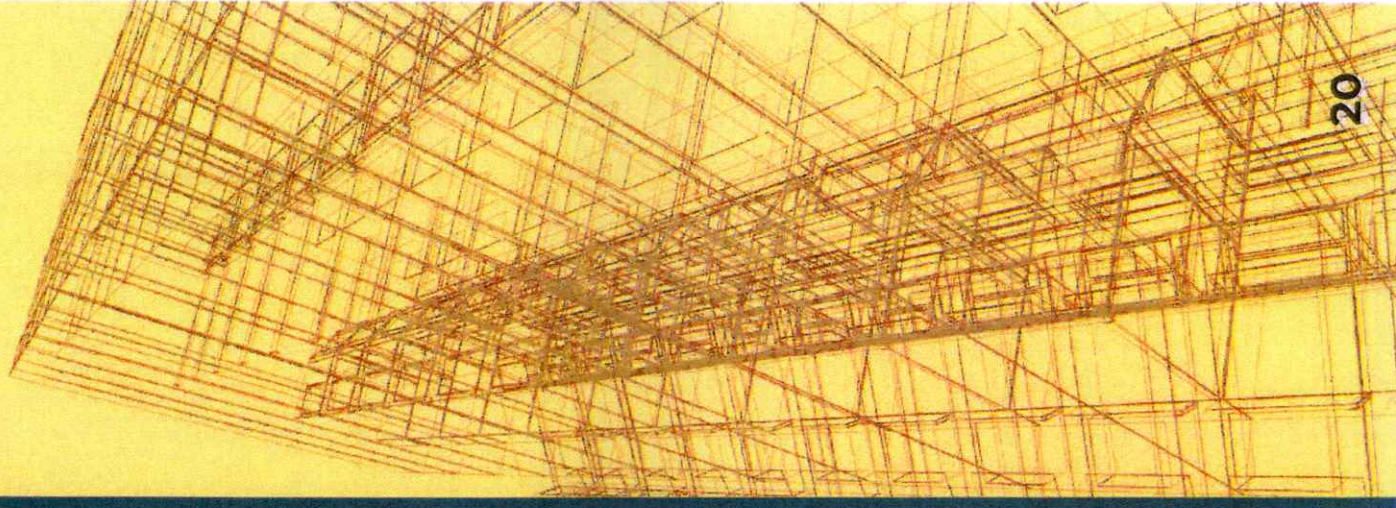
- To process and review permit applications in a timely fashion, the documents and document descriptions listed in this guide are the minimum requirements necessary for permit submittal and review. The more information supplied, the easier and faster the approval process will be for the project.
- To ensure a timely permit review; plans and information submitted must be complete, clearly describing the scope of work and method of compliance with the adopted codes and ordinances.
- If you should have any questions regarding the minimum requirements of submittal, please contact the Development Services Department before permit application submittal.
- Work performed without a valid permit will result in double fees for each permit required.



Architectural Plans

(Must include the following information)

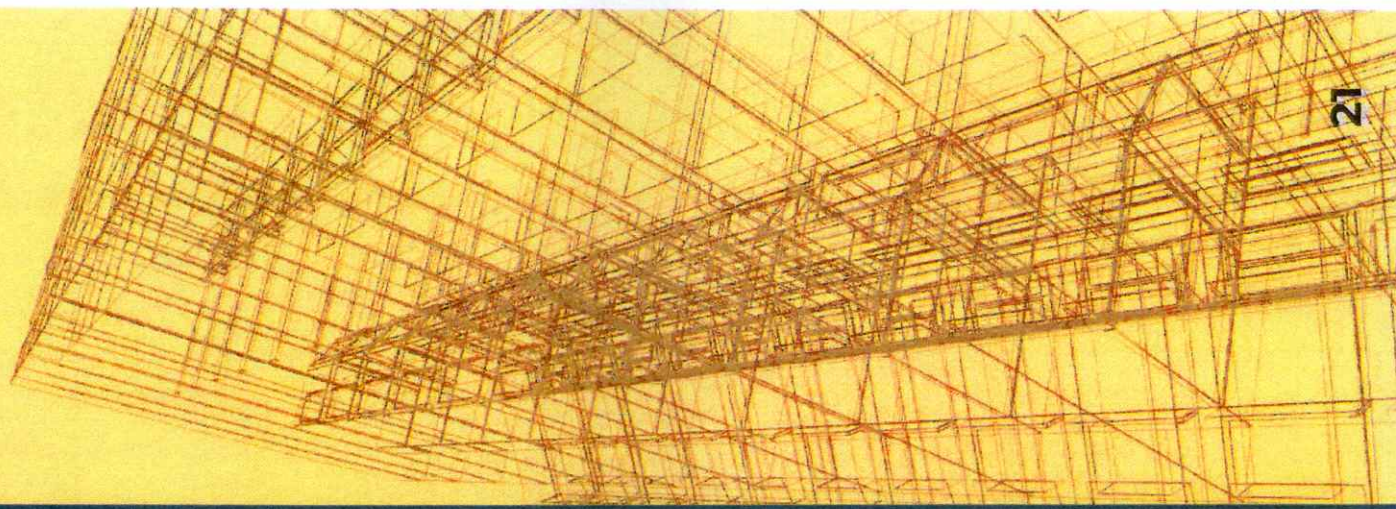
- **Cover Sheet:** Provide design criteria identifying Occupancy Classification, Type of Construction, Type of Sprinkle System (if required, existing or installed), Building Height and Area (actual vs. allowable), Number of Stories, Occupant Load, and Egress Calculations, Fire Resistive Construction as applicable and Code Edition used for design.
- **Site Plan:** Identify location and dimensions of property lines, all utilities, public or private easements, all proposed buildings, existing buildings, fences, retaining walls, trash enclosures, structures on-site, mechanical equipment, fire lanes, parking lot lights, parking, ramps, accessible parking and accessible route of travel to the building and public right of way.
- **Floor Plan:** Completely dimension and label the use of spaces, wall types, required fire-resistive walls, location of required signs, accessibility clear floor space, turning spaces, grab bars, counters, and furniture. For multi-family projects note on floor plan type of unit(s) per IBC Chapter 11.
- **Foundation Plan:** Provide complete footing and foundation plan(s) with sections and details that include size and placement of reinforcing steel, anchor bolts size and location, and depth of footings. Any special inspections must also be identified on plans. **Framing Plan:** Must describe all structural elements including the wall, floor and roof framing, posts, beams, headers, shear walls, hangers, spacing and span of framing members, connections and engineered truss designs as applicable.



Architectural Plans

(Must include the following information)

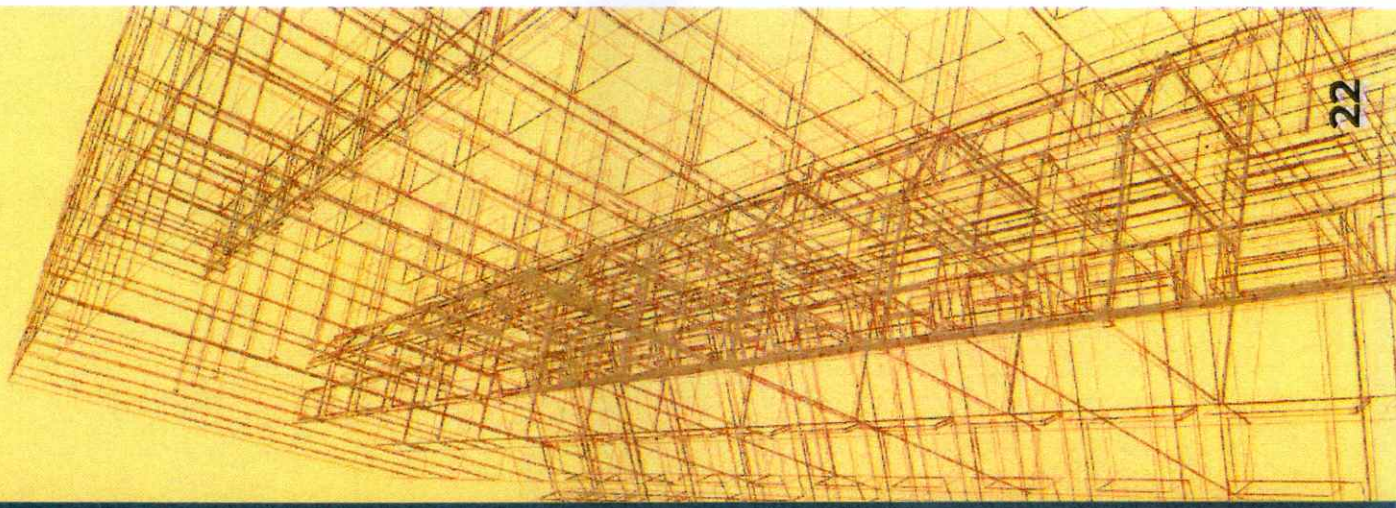
- **Roof Plan:** Indicates location of all equipment; size and location of all roof drain, overflow and scuppers.
- **Elevations and Sections:** Provide elevations illustrating building height, materials, and tempered glass in a hazardous location. Cross-sections details that reflect structural systems.
- **Fire Resistive Construction:** All fire-resistive construction must be identified on the floor plan, building sections and details keyed to approved listing documentation that part of construction document. Opening and/or penetrations are required to be detailed on plans with listing documentation.
- **Miscellaneous:** Provide plans and details for all light pole bases, retaining walls, curb ramps, ramps, landings, handicap parking stall signs, stairs, handrails, guard, shaft enclosure construction for Type I hoods.
- **Electrical Plans Building:** Provide a single line riser diagram showing service, feeder wire, equipment grounds, service disconnects, etc. Panel schedule(s) and descriptions of circuits with connected loads and panel rating(s). Location of all panels, light fixtures, outlets, GFCI, smoke detectors, emergency power system, exit signs, exit illumination, equipment, and all required work clearances.

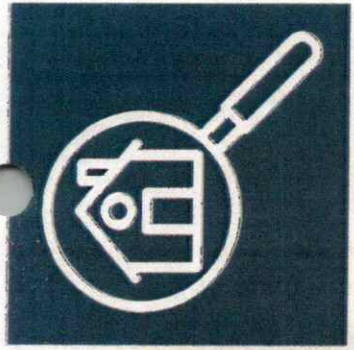


Architectural Plans

(Must include the following information)

- **Mechanical Plans:** Provide the layout, sizing, and classification of ductwork and location of exhaust systems, make-up air, and duct detectors. Show adequate ventilation, indicating compliance. Identify locations and type(s) of dampers when required through fire or smoke-rated assemblies. Indicate access and working space for all mechanical equipment.
- **Plumbing Plans:** Must include an isometric diagram with pipe size and type for gas, water, drain waste, and vent piping. For gas piping, indicate the total developed length, the length of each branch, the demand for each appliance and the total demand calculations for gas piping. Show the size and location of roof drains and overflows. Show the type and location of all backflow prevention devices, grease and chemical interceptors.
- **Civil:** Sealed drawings by a licensed Professional Civil Engineer, with scaled and dimensioned drawings showing property lines, legal description, site location map, driveways and drive approaches, parking lots and striping layout, easements, existing site grading, existing and proposed utilities, drainage areas, and hydraulic calculations, grading and drainage plans, erosion control plans, and stormwater pollution prevention plans, traffic impact analysis, flood management, base flood elevation with flood zone notations as required by the City of La Marque Design Criteria Manual.





Inspections



To request an inspection for any project, a valid approved building or civil permit must be on file with Development Services.



Inspection requests must be submitted by 4:00 p.m. Monday through Thursday. Requests made on Friday will not be scheduled until Monday.



Permit Specialists will not guarantee next-day inspections.



On-demand or emergency inspection requests must be pre-approved, and fees must be paid at the time of the request.



Re-inspections require a separate fee.



Cancellation requests must be made through permitting before 9:00 a.m. on the day of the scheduled inspection, or a re-inspection fee will be due.



Inspection requests and cancellations may be emailed to permits@cityoflamarque.org or call 409-938-9219



All fees are NON-REFUNDABLE.

Schedule of Fees | Planning & Zoning

PRELIMINARY PLAT	\$750.00 + \$20.00 PER LOT, \$100.00 PER RESERVE ACRE
REPLAT	\$750.00 + \$20.00 PER LOT, \$110.00 PER RESERVE ACRE
MINOR/VACATING	\$350.00
FINAL PLAT	\$750.00 + \$20.00 PER LOT, \$110.00 PER RESERVE ACRE
AMENDING PLAT	\$500.00 + \$150.00 Filing Fee
ADMINISTRATIVE PLAT	\$500.00
ABBREVIATED PLAT	
GENERAL PLAN	TOTAL SUM OF PRELIMINARY PLAT AND FINAL PLAT
LEGAL REVIEW FEE	\$1,000.00
PLAT RECHECK FEE	\$750.00
ADDRESS REQUEST NEW OR CHANGE APPLICATION FEE	\$350.00 AFTER 2ND RECHECK
REZONE REQUEST FEE: 0 - 25 ACRES	\$100.00
REZONE REQUEST FEE: 26 - 50 ACRES	\$600.00 PLUS \$50.00 EACH TYPE OF REZONE OR \$740.00 IF PLANNED DEVELOPMENT UNIT
REZONE REQUEST FEE: 51 - 75 ACRES	\$700.00 PLUS \$50.00 EACH TYPE OF REZONE OR \$850.00 IF PLANNED DEVELOPMENT UNIT
REZONE REQUEST FEE: 76 - 100 ACRES	\$800.00 PLUS \$50.00 EACH TYPE OF REZONE OR \$950.00 IF PLANNED DEVELOPMENT UNIT
REZONE REQUEST FEE: 100 + ACRES	\$900.00 PLUS \$50.00 EACH TYPE OF REZONE OR \$1050.00 IF PLANNED DEVELOPMENT UNIT
VARIANCE REQUEST APPLICATION FEE	\$1000.00 PLUS \$50.00 EACH TYPE OF REZONE OR \$1250.00 IF PLANNED DEVELOPMENT UNIT
ABANDONMENT OF STREET, ALLEY, EASEMENT APPLICATION FEE	\$450.00
ZONING VERIFICATION LETTER / CERTIFICATE OF COMPLIANCE	\$700.00
NOTIFICATION FEE PER OWNER	\$50.00
PUBLISHED NOTICE	\$9.00 IS THE COST PER NOTICE MAILED
SPECIFIC USE PERMIT FEE	(PER LGC SECTION 231.017) \$150.00 COST PER NEWSPAPER AD
CONDITIONAL USE PERMIT	\$450.00
FLOODPLAIN DEVELOPMENT PERMIT FEE	\$450.00



- Schedule of fees was updated adopted by City Council in 2022, per City Ordinance 0-2022-0009.
- Fees are listed as information only and not all inclusive.
- Please contact Permitting for specific project fees.

Commercial Fees

Civic Plan Review & Permit Fees

COMMERCIAL CIVIL PLAN REVIEW FEE (DOES NOT INCLUDE BUILDING)	\$500.00 + 1% OF TOTAL PROJECT COST
COMMERCIAL CIVIL PLAN RECHECK	\$350.00
COMMERCIAL LANDSCAPE REVIEW FEE (INCLUDES HARDSCAPE, SOFTSCAPE, IRRIGATION)	\$500.00 + 1% of Total Project Cost
SIGN PLAN REVIEW (MONUMENT / BILLBOARD REQUIRES ENGINEER APPROVAL)	\$350.00
DRAINAGE REPORT REVIEW FEE - 0 TO 100 ACRES	\$3,500.00
DRAINAGE REPORT REVIEW FEE - OVER 100 ACRES	\$3,500.00
TRAFFIC IMPACT ANALYSIS REVIEW FEE (CATEGORY 1)	\$250.00
TRAFFIC IMPACT ANALYSIS REVIEW FEE (CATEGORY 2)	\$1,000.00
TRAFFIC IMPACT ANALYSIS REVIEW FEE (CATEGORY 3)	\$2,000.00
TRAFFIC IMPACT ANALYSIS REVIEW FEE (CATEGORY 4)	\$3,000.00
CIVIL - FILL/ CLEARING/GRADING/DRAINAGE/WATER/SEWER/PAVING	\$500.00 + 2% of total civil project cost
COMMERCIAL LANDSCAPE PERMIT FEE (INCLUDES HARDSCAPE, SOFTSCAPE & IRRIGATION)	\$500.00 + 2% of total civil project cost
AFTER HOURS INSPECTIONS (AND WEEKEND HOURS INSPECTIONS) - CIVIL ONLY	\$100.00 per hour, minimum 4 hours
IMPACT FEES (BASED ON WATER & SEWER USE CALCULATIONS)	See City Ordinance 0-2019-003

- Schedule of fees was updated adopted by City Council in 2022, per City Ordinance 0-2022-0009.
- Fees are listed as information only and not all inclusive.
- Please contact Permitting for specific project fees.



Commercial Fees

Building Plan Review & Permit Fees

COMMERCIAL BUILDING PLAN REVIEW FEE (NOT INCLUDING FIRE/INCLUDES MEP'S)	MIN FEE \$500.00 + 10% OF BUILDING PERMIT COST
SIGN PLAN REVIEW (ALL OTHERS) (NOT INCLUDING BILLBOARDS)	\$150.00
FLOODPLAIN DEVELOPMENT PLAN REVIEW FEE	\$150.00
TELECOMMUNICATION TOWER PLAN REVIEW FEE	MIN FEE \$350.00 PLUS 1% OF TOTAL PROJECT COST
PIPELINE PLAN REVIEW FEE	\$500.00 + 2% of total project cost
ROW PLAN REVIEW FEE	\$150.00
COMMERCIAL BUILDING PERMIT FEE	\$350.00 + 1% OF TOTAL PROJECT COST
COMMERCIAL CERTIFICATE OF OCCUPANCY APPLICATION FEE	\$150.00
ADDRESS REQUEST APPLICATION FEE (COMMERCIAL)	\$100.00
PLUMBING PERMIT NEW COMMERCIAL	\$425.00 + 1% of total plumbing project cost
PLUMBING PERMIT FEE FOR ADDITIONS AND ACCESSORY STRUCTURES	\$250.00
PLUMBING PERMIT FEES ALL OTHERS	\$100.00
ELECTRICAL PERMIT FEE NEW COMMERCIAL	\$425.00 + 1% of total plumbing project cost
ELECTRICAL PERMIT FEE FOR ADDITIONS AND ACCESSORY STRUCTURES	\$250.00
ELECTRICAL PERMIT FEES ALL OTHERS	\$100.00
MECHANICAL PERMIT FEES NEW COMMERCIAL	\$425.00 + 1% of total plumbing project cost
MECHANICAL PERMIT FEES FOR ADDITIONS AND ACCESSORY STRUCTURES	\$250.00
MECHANICAL PERMIT FEES ALL OTHERS	\$100.00



- Schedule of fees was updated adopted by City Council in 2022, per City Ordinance 0-2022-0009.
- Fees are listed as information only and not all inclusive.
- Please contact Permitting for specific project fees.

Residential Fees

Residential Plan Review & Permit Fees

RESIDENTIAL REMODEL PLAN REVIEW FEE	MIN FEE \$150.00
RESIDENTIAL IRRIGATION PLAN REVIEW FEE	MIN FEE \$150.00
RESIDENTIAL BUILDING - NEW PLAN REVIEW FEE	MIN FEE \$150.00
RESIDENTIAL GARAGE, CARPORT, ACCESSORY STRUCTURES PLAN REVIEW FEE	MIN FEE \$150.00
RESIDENTIAL - NEW PLAN REVIEW ADDENDUM FEE	MIN FEE \$150.00
RESIDENTIAL - NEW DRAINAGE PLAN REVIEW	MIN FEE \$150.00
RESIDENTIAL - MULTI-UNIT DRAINAGE, PAVING, WATER, SEWER, IRRIGATION PLAN REVIEW FEE	MIN FEE \$350.00 PLUS 1% OF TOTAL PROJECT COST
RESIDENTIAL BUILDING Permit - NEW	MIN FEE \$100.00 + \$1.25 PER SQ FT
RESIDENTIAL CERTIFICATE OF OCCUPANCY	\$250.00
RESIDENTIAL TEMP/CONDITIONAL CERTIFICATE OF OCCUPANCY	\$150.00
RESIDENTIAL NEW POOL PERMIT FEE (INCLUDES PLAN REVIEW)	\$300.00
RESIDENTIAL SOLAR PANEL PERMIT (INCLUDES PLAN REVIEW FEE)	\$250.00
RESIDENTIAL DRIVEWAY/SIDEWALK PERMIT (INCLUDES PLAN REVIEW FEE)	\$200.00
GENERATOR – PERMANENT INSTALL	\$100.00



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- Fees are listed as information only and not all inclusive.
- Please contact Permitting for specific project fees.

Residential Fees

Residential Plan Review & Permit Fees

	MIN FEE \$100.00 + \$1.00 PER SQ. FT
RESIDENTIAL REMODEL PERMIT FEE	
RESIDENTIAL FOUNDATION REPAIR PERMIT FEE	\$100.00
RESIDENTIAL ROOF REPAIR PERMIT FEE	\$100.00
RESIDENTIAL NEW ROOF PERMIT FEE	\$100.00
RESIDENTIAL DRIVEWAY/SIDEWALK PERMIT FEE	\$75.00
RESIDENTIAL ALARM PERMIT FEE PER YEAR	\$40.00
RESIDENTIAL DEMOLITION PERMIT FEE	\$50.00
RESIDENTIAL GARAGE, CARPORT, ACCESSORY STRUCTURES, BULKHEADS	\$150.00
RESIDENTIAL/ COMMERCIAL IRRIGATOR REGISTRATION FEE	\$75.00
RESIDENTIAL/ COMMERCIAL IRRIGATOR REGISTRATION RENEWAL FEE	\$75.00
RESIDENTIAL IRRIGATION PERMIT FEE	\$150.00
RESIDENTIAL FENCE PERMIT FEE (Over 7 ft)	\$100.00
ELECTRICAL – NEW RESIDENTIAL	\$375.00
PLUMBING – NEW RESIDENTIAL	\$425.00
MECHANICAL – NEW RESIDENTIAL	\$375.00
ADDITIONS AND ACCESSORY STRUCTURES	\$250.00
MEP ALL OTHER	\$100.00



- Schedule of fees was updated adopted by City Council in 2022, per City Ordinance 0-2022-0009.
- Fees are listed as information only and not all inclusive.
- Please contact Permitting for specific project fees.

Important Numbers

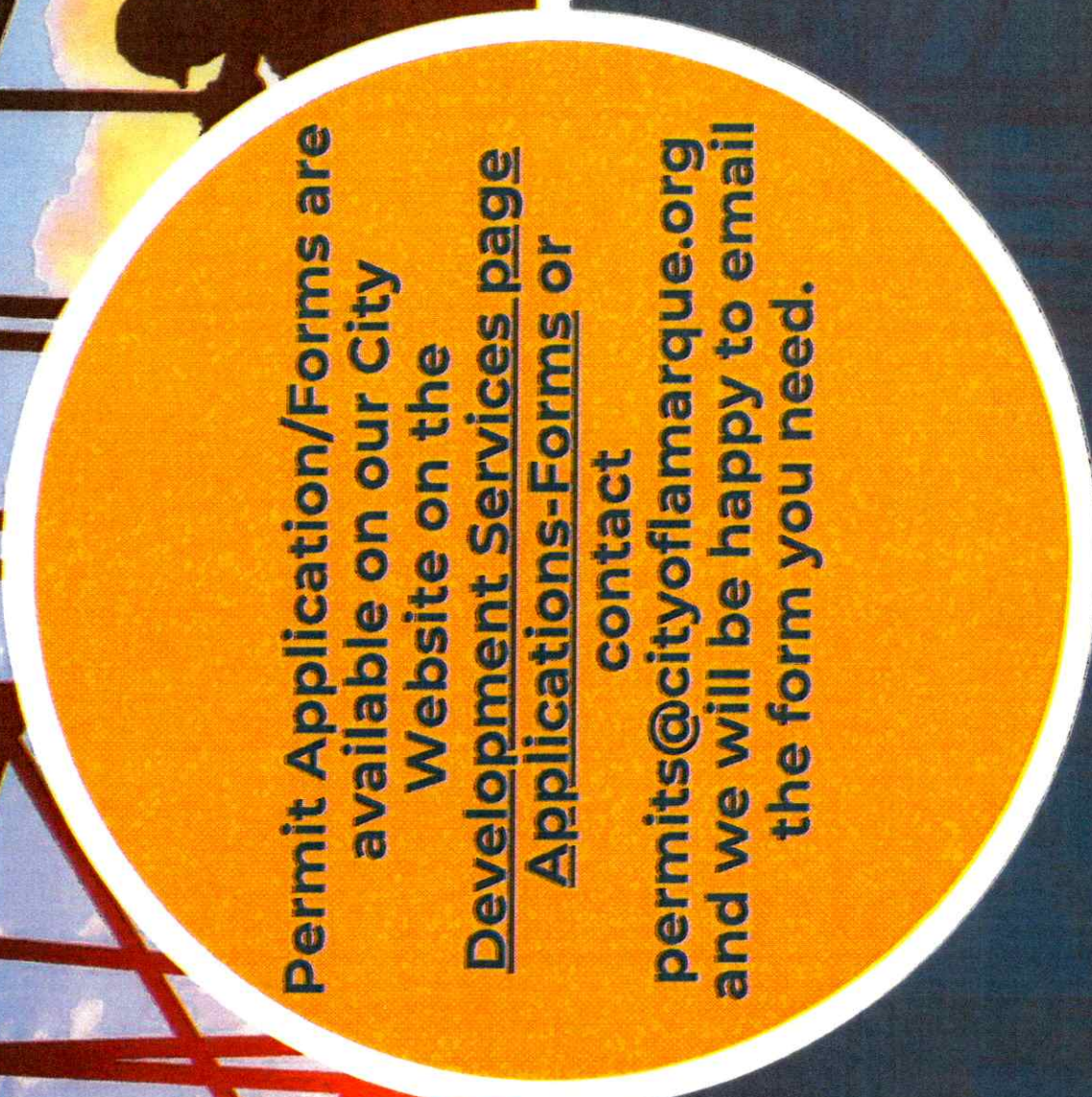


City Offices

Main City Line.....409-938-9200
City Clerk.....409-938-9259
City Receptionist.....409-938-9202
Mayor & City Council.....409-938-9259
Municipal Court.....409-938-9247
Code Enforcement.....409-938-9256
Developmental Permits.....409-938-9219
Economic Development.....409-938-9201
Emergency Management.....409-938-9262
Human Resources.....409-938-9249
Finance.....409-938-9214
Library.....409-938-9270
Police Department.....409-938-9269
Fire Department.....409-938-9264
Public Works.....409-938-9280
Utility Billing.....409-938-9209

County Offices

Animal Control.....409-948-2485
County Health District.....409-938-7221
Mosquito Control.....1-800-842-5622
Tax Office.....409-770-5809
Waste Management.....800-800-5804
TXNMP Emergency.....888-866-7456
TXNMP New Service.....888-866-7456
Center Point Energy.....713-207-2222, 800-332-7143
GC Appraisal District.....866-277-4725



Permit Application/Forms are
available on our City

Website on the

Development Services page
Applications-Forms or

contact

permits@cityoflamarque.org
and we will be happy to email
the form you need.



CITY OF LA MARQUE
"Gateway to the Gulf"
1130 1st St., La Marque, TX 77568
409-938-9204 Permits@CityOfLaMarque.Org

Plat Application

Proposed Plat Name: Bayou Ridge

Galveston County Property Tax ID #(s):

Legal Description: 46.333 Acres In The S.F. Austin League, Survey No. 4, A-2, Galveston County, Texas.

Type of Plat: (check one) Preliminary Plat ☒ Re-Plat ☐ Final Plat ☐ Amending Plat ☐

Surveyor: A. Munroe Kelsay, RPLS **Email:** mturzillo@ehra.team **Phone:** 713-429-0806

Plat Description (example: lot consolidation, dividing into two parcels, etc.):
Bayou Ridge is a subdivision of 46.333 acres out of the S.F. Austin League Survey No. 4, A-2, City of La Marque, Galveston County, Texas.
The subdivision will consist of 128 single family residential lots, 4 blocks, and 11 reserves.

Applicant/ Company Name: Michael Turzillo / EHRA Engineering

Contact Name: Michael Turzillo

Contact Email: mturzillo@ehra.team **Contact Phone:** 713-429-0806

Contact Mailing Address: 10011 Meadowglen Lane

Owner Name: G 46 LLC

Email: kareem@gamalenterprises.com **Phone:** 713-392-2953

Mailing Address: 2909 Rogerdale Rd #421249 Houston, Texas 77242

Application Checklist

- ☒ Plat in the form required for filing (2 mylars, 2 paper copies) electronic submittal of plat allowed for processing
- ☐ Site Plan (to scale) with Existing Improvements, Developments and Property Lines (If this information is not on the plat)
- ☐ Current Tax Certificates (Original required for filing with County Clerk)
- ☐ City Planning Letter / Title Report (must be within 30 days of plat application)
- ☐ Agency Letter (If the owner is not the applicant, the owner must sign below or provide a letter giving the applicant written authorization to submit this plat application on the owner's behalf - (not required for preliminary plats)
- ☐ Lien-holder Subordination Agreement (If there is a lien on any part of the property, this shall be required)
- ☒ Application Fee

Fee Schedule:

Preliminary Plat: \$750.00 + \$20.00 Per lot, \$100.00 per reserve acre

Re-plat: \$750.00 + \$20.00 per lot, \$110.00 per reserve acre

Final Plat: \$750.00 + \$20.00 per lot, \$110.00 per reserve acre

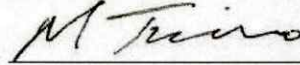
*Please see schedule of fees adopted as of - 9/8/2022

Applicant Certificate

I affirm the statements contained in this application are true and correct to the best of my knowledge.

Signature of owner: 

Date: 4/23/2024

Signature of applicant: 

Date: 4/24/2024

Email Submission: Permits@CityOfLaMarque.org



Development Services Department
1130 1st St.
La Marque, TX 77568

Receipt Number: 202401033

(409)938-9219
permits@cityoflamarque.org

Payer/Payee: EHRA ENGINEERING
10011 MEADOWGLEN LN
HOUSTON TX 77042

Cashier: Marisela Moya

Date: 04/25/2024

PZ2024-003 RE- 3227 MAIN LA MARQUE, TX 77568
ZONING/PLATS/VARIANCES/ABANDON
MENTS

<u>Fee Description</u>	<u>Fee Amount</u>	<u>Amount Paid</u>	<u>Fee Balance</u>
PRELIMINARY PLATS	\$5,324.00	\$5,324.00	\$0.00
fee for filing plat at GCC	\$150.00	\$150.00	\$0.00
	\$5,474.00	\$5,474.00	\$0.00

<u>Payment Method</u>	<u>Reference Number</u>	<u>Payment Amount</u>
CHECK	CK 003023	\$5,474.00
Total Paid:		\$5,474.00

Tuesday, May 14, 2024

Michael Turzillo
EHRA Engineering
10011 Meadowglen Ln
Houston, TX
mturzillo@ehra.team

Re: Bayou Ridge Preliminary Plat
46.33 acres in the S.F. Austin League Survey No. 4, Abstract 2, Galveston County, TX
128 Lots, 4 Blocks and 20.14 acres of Reserves
Letter of Recommendation to Approve
COLM Project No. PZ2024-003
Adico, LLC Project No. 18100-2-125

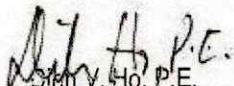
Dear Mr. Turzillo:

On behalf of the City of La Marque, Adico, LLC has reviewed the second submittal of Bayou Ridge Preliminary Plat, a proposed 46.33- acres out of the S.F. Austin League Survey No. 4, Abstract 2, Galveston County, Texas, being 128 Lots, 4 Blocks and +/- 20.14 acres of Reserves, received on or about May 10, 2024.

Based on our review, we have no objections to the preliminary plat as resubmitted on May 10, 2024. Please provide Kathleen Van Stavern, Director of Development Services, with ten (10) folded prints of the plat, by no later than May 20, 2024, for consideration at the May 28, 2024, Planning and Zoning Meeting.

Should you have any questions, please do not hesitate to call our office.

Sincerely,
Adico, LLC


John V. Ho, P.E.
TBPE Firm No. 16423

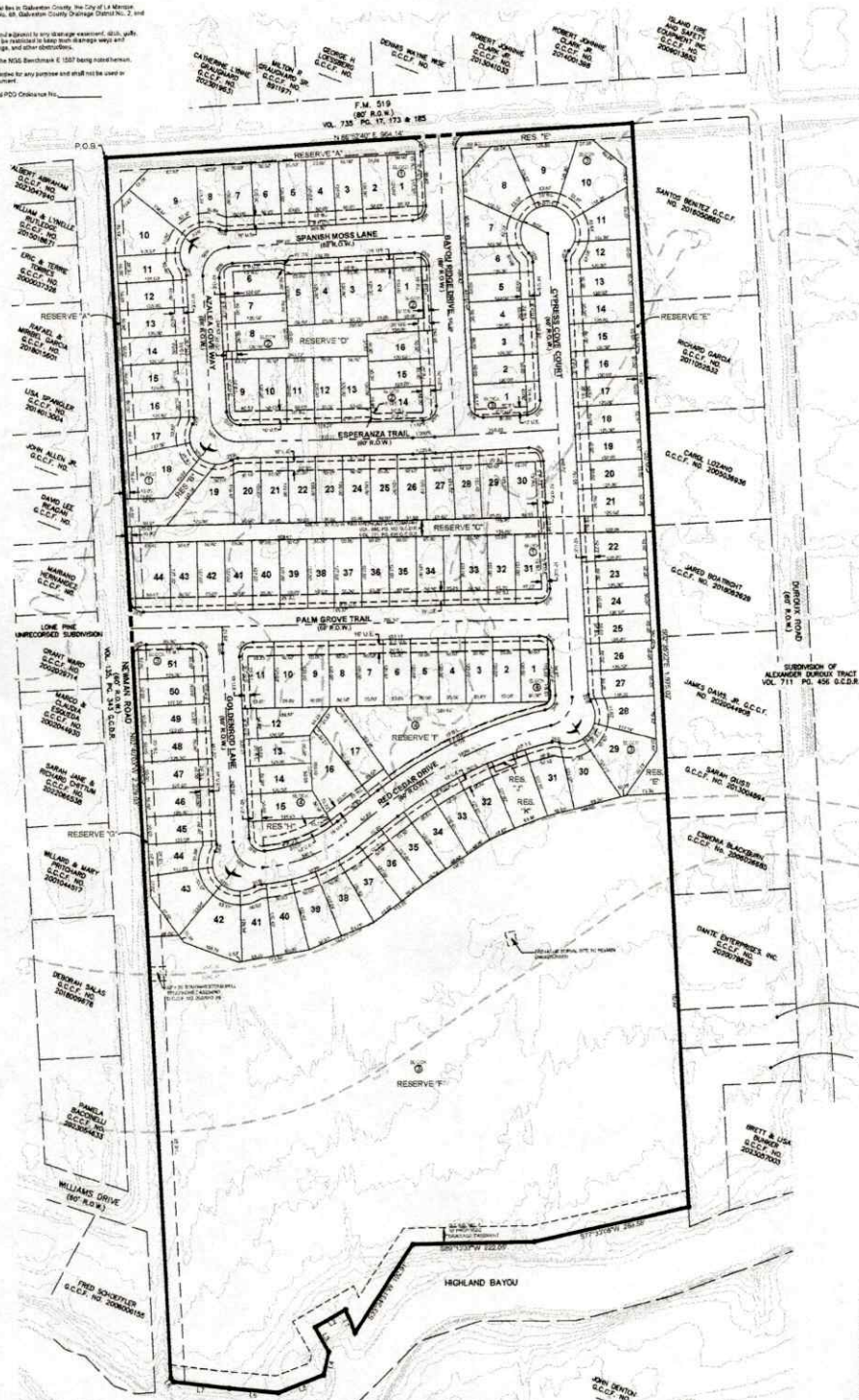
Cc: Permits
File: 18100-2-125

GENERAL NOTES

- [illegible]

LINE	ANGLE	DISTANCE
L1	N 31°48'52" W	48.75
L2	S 50°18'43" W	64.80
L3	S 29°20'01" E	51.10
L4	S 73°54'37" E	42.72
L5	S 69°13'04" E	68.10
L6	N 64°31'48" E	88.63
L7	N 80°02'04" E	103.54
L8	N 40°44'24" W	7.82

RESERVE TABLE			
RESERVE	RESTRICTIONS	SQ. FT.	ACRES
A	LANDSCAPE OPEN SPACE & UTILITY PURPOSES	20,386.72	0.57
B	UPP STATION	1,030.69	0.03
C	LANDSCAPE OPEN SPACE & UTILITY PURPOSES	28,183.97	0.82
D	RECREATION, LANDSCAPE OPEN SPACE & UTILITY PURPOSES	54,319.43	1.54
E	LANDSCAPE OPEN SPACE & UTILITY PURPOSES	38,915.51	1.12
F	DRAINAGE, RECREATION, LANDSCAPE OPEN SPACE & UTILITY PURPOSES	71,344.67	18.13
G	LANDSCAPE OPEN SPACE & UTILITY PURPOSES	6,824.56	0.20
H	LANDSCAPE OPEN SPACE & UTILITY PURPOSES	4,637.86	0.13
I	RECREATION, LANDSCAPE OPEN SPACE & UTILITY PURPOSES	38,703.89	1.10
J	LANDSCAPE OPEN SPACE & UTILITY PURPOSES	916.75	0.03
K	RECREATION, LANDSCAPE OPEN SPACE & UTILITY PURPOSES	7,963.13	0.23
	TOTAL	474,966.38	13.59

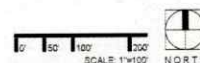


DEVELOPER INFORMATION
CENTURY COMMUNITIES
333 CYPRESS RUN #200
HOUSTON, TX 77094

OWNER INFORMATION
G 46 LLC
3227 MAIN LANE
LA MARQUE, TX 77568

BENCHMARKS

NODE 1507MOUNTAIN # E 1507 IN HATCHCOCK 0.8 KM (0.5 MI) EAST ALONG
STATE HIGHWAY 6 FROM THE POST OFFICE. THENCE 0.3 KM (0.1 MI) SOUT
ALONG BULLDOG LAKE TO MARTIN L. KING STREET AND THE MARK ON TH
RIGHT. 14.8 METERS (48.5 FT) WEST OF THE CENTER OF BULLDOG LAKE
12.7 METERS (41.9 FT) NORTH OF THE NORTH OF THE TRACK. 12.2
METERS (40.0 FT) NORTHWEST OF THE NORTHWEST CORNER OF A
CROSSING SIGNAL LIGHT. 9.4 METERS (31.0 FT) SOUTH OF THE CENTER O
MARTIN L. KING STREET. ACCESS-TO ACCESS TO DATUM POINTS HAS
THROUGH A MARCH LOG CAMP. THE CAMP IS LOCATED 1.5 KM (0.9 MI) FROM
THE CAMP. THE CAMP IS LOCATED 1.5 KM (0.9 MI) FROM THE CAMP.



Bayou Ridge Preliminary Plat

A Subdivision of 46.33 acres out of the S.F. Austin League Survey No. 4, A-2,
City of La Marque, Galveston County, Texas.

128 Lots, 4 Blocks, and 11 Reserves
Owner: G 46 LLC

May, 2024



10011 MEADOWGLEN LANE
HOUSTON, TEXAS 77042
713.784.4500
WWW.EHRA.TEAM
TBPE No. F-726
TBPLS No. 10092300

Legal Notice
CITY OF LA MARQUE
PLANNING AND ZONING COMMISSION
PUBLIC HEARING NOTICE

Notice is hereby given that the City of La Marque Planning and Zoning Commission will hold a PUBLIC HEARING on May 28, 2024 beginning 4:00pm in the City Council Chambers, located at 1109-B Bayou Road, La Marque, Texas for the purpose of discussion and possible action on: **Approval of Bayou Ridge Preliminary Plat of a proposed 46.33 acres out of the S.F. Austin League Survey No. 4, Abstract w, Galveston County, Texas, being 128 Lots, 4 Blocks and +/- 20.14 acres of Reserves.**

For further information Email: k.vanstavern@city-oflamarque.org

Published: May 16, 2024



Planning & Zoning Commission

Chairman Greg Cornett
Commissioner Chris Colombo

Vice Chairman Alan Waters
Commissioner Bradley Stephenson

Tuesday, May 28, 2024

RE: Attendance of Commissioners

Honorable Mayor Bell and Council,

On May 28, 2024, the Planning & Zoning Commission in a Regular Meeting / Public Hearing unanimously approved a letter of recommendation to City Council to remove the following commissioners from this commission, per Section 71-24 "Planning & Zoning Commission":

Augustino Molis, appointed by District A
Graylan Alexander, appointed by Mayor
Stephanie Gordon, appointed by District A

The commission reviewed the attendance records for years 2022, 2023 and 2024 and found these records:

- 2022: A. Molis attended 2 meetings out of 8 meetings held. (No Call, No Show)
G. Alexander attended 1 meeting out of 8 meetings held. (No call, No Show)
S. Gordon attended 0 meetings out of 8 meetings held (No Call, No Show)
- 2023: A. Molis attended 0 meetings out of 10 meetings held (No call, No Show)
G. Alexander attended 0 meetings out of 10 meeting held (No call, No Show)
S. Gordon attended 0 meetings out of 10 meeting held (No Call, No Show)
- 2024: A. Molis attended 0 meetings out of 3 meetings held (No call, No Show)
G. Alexander attended 0 meeting out of 3 meetings held (No Call, No Show)
S. Gordon attended 0 meetings out of 3 meetings held (No Call, No Show)

The Planning & Zoning Commission is an integral part of the City of La Marque and requires a commitment from all appointed members to be present at meetings.



City Ordinance Section 71-24 requires this commission to be composed of five regular members, all of whom shall be residents and real property taxpayers of the City of La Marque. The city council shall appoint two alternate members of the commission for a term of two years who shall serve in the absence of one or more of the regular members when requested to do so by the chairperson of the commission.

Per Section 71-24, members may be removed by the city council only for inefficiency, neglect of duty, or malfeasance in office. This commission requests the removal of the aforementioned members for "Neglect of Duty." Being absent from meetings causes a hardship on the commissioners to meet the quorum requirements and the citizens or developers requesting review of rezone requests or platting approval.

Respectively signed by:

Greg Cornett, Chair

Date: _____

Alan Waters, Vice Chair

Date: _____

Chris Colombo, Commissioner

Date: _____

Bradley Stephenson, Commissioner

Date: _____

